

**46 COURT ROAD, FAIRFIELD -  
FAIRFIELD INVESTMENTS NO.1 PTY LTD V FAIRFIELD CITY COUNCIL  
LEC PROCEEDINGS NO. 2024/00248250**

**URBAN DESIGN REPORT  
16/10/2024**







<http://www.atlasurban.com/>

Consultant Team:  
**Atlas Urban Design & Strategy**

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**TABLE OF CONTENTS**

<b>Introduction</b>	<b>4</b>
<b>Timeline</b>	<b>6</b>
<b>Strategic Context</b>	<b>7</b>
<b>Site Context</b>	<b>10</b>
<b>Massing Design Developme</b>	<b>11</b>



# INTRODUCTION



Artist's Impression (Courtesy: Level33)

This urban design investigation has been commissioned by the property owner for a site that has approval for 4 towers in Fairfield Town Centre. Construction has commenced and is ongoing for the DA approval. Think Planners is assisting Level 33 and has lodged an Amending DA under the Infill Affordable Housing SEPP (IAHSEPP) to increase each of the towers by up to 30% in height. Essentially amending the DA to add levels to the approved towers. The fundamental objective is to capture more of the site's potential that is available through the IAHSEPP, by adding height without modifying the design fundamentals.

Given the existing approval and stage of construction, which is up to levels two and three, the focus of this work has been the additional levels. We have reviewed the 240322 - Architectural Plans and Council Letter DA 69.1 2024 5 June 2024. Together with the DCP, the approved design, and the DA documentation.

Unlike many centres in Sydney, Central Fairfield has not experienced significant renewal in recent decades. However, recent upzoning and growing demand for housing make significant redevelopment seem likely. Therefore, we have examined the state of development control and the various strategic planning policies to understand the probable future built environment surrounding the site.

At the time of the original architectural design and granting of approval in 2015, the instrument to guide the built form was the Fairfield City Centre Development Control Plan 2013 (DCP). Subsequently, building envelopes were proposed by the Fairfield City Centre Urban Design Study (2018) (UDS'18) and the Fairfield City Centre Urban Design Study (2022) (UDS'22).



# INTRODUCTION

There are two salient urban initiatives called up in these documents:

- The DCP calls for the mid-block laneway, running across the southern side of the subject site, to provide rear-lane access to the Alan Street properties. The portion of the lane that lies on the subject site is being delivered under the approval.
- The UDS’22 identifies a new park adjacent to the subject site at the corner of Alan Street and Court Road. However, the Council has indicated that the park will not be realised. And has provided guidance for an appropriate built form for the site (see Scenario 1 below).

There are important differences between the built-form typology adopted by the DCP and the UDS’. The DCP presents:

- Simple building blocks without stepping form
- Building heights of 1 story (podium), engaged buildings of 6, 8, and 12 stories and free-standing towers of 12 stories.
- Street front buildings with narrow plates (12m & 15m), engaged to form a continuous ‘perimeter block’ of 6 to 8 stories
- Taller mid-block buildings, some with deep plates (>25m) of 12 stories. Some were free-standing, others engaged as ‘fingers’ and podium-tower arrangements.

The UDS’18 covers sites larger than 2500m², while the UDS’22 adds the smaller sites. Both Urban Design Studies present:

- Podium and tower configuration generally with 1 or 2-storey podium.
- Towers are generally oriented parallel to streets to create a perimeter block with intermittent spacing.
- Towers are generally lower in height in east-west-oriented streets
- Towers are generally taller on north-south-oriented streets and at corners.

Towards the end of this document is a series of 3D-modelled scenarios that show expected built-form outcomes under each DCP, UDS’18 and UDS’22. Scenarios 1 & 2 represent to two specific built form scenarios that the council has requested.

## Development Summary

SEPP (HOUSING) 2021 - INFILL AFFORDABLE HOUSING (AH) COMPLIANCE TABLE		
SEPP HOUSING 2021	PROPOSED GFA	APPROVED GFA
MAX GFA 42,014 m²	32,888 m²	27,767 m²
MIN AFFORDABLE HOUSING GFA	4,933 m² (15%)	-

PROPOSED TOTAL ADDITIONAL GFA - 5,121 m²  
CONSISTING OF ADDITIONAL 66 UNITS

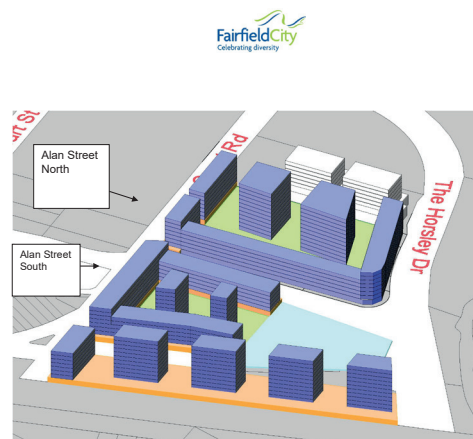
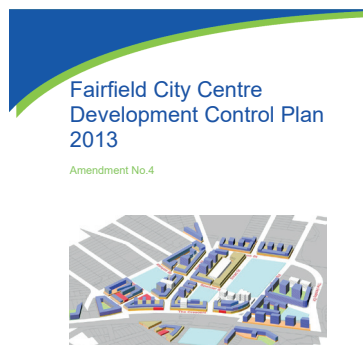
	AFFORDABLE UNITS
AFFORDABLE GFA ALLOCATION	4,951 m² (15.06%)
TOTAL UNITS	63 UNITS



## TIMELINE

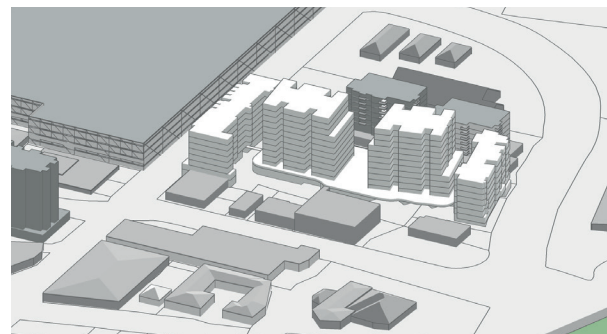
# FAIRFIELD CITY CENTRE DEVELOPMENT CONTROL PLAN

# 2013



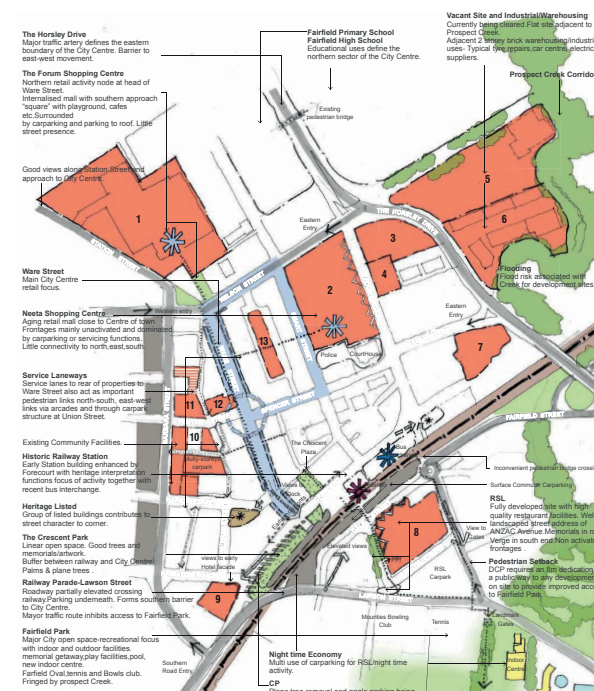
**DEVELOPMENT  
APPLICATION  
CONSENT GRANTED  
2015**

2015



# FAIRFIELD CITY CENTRE URBAN DESIGN STUDY (2018)

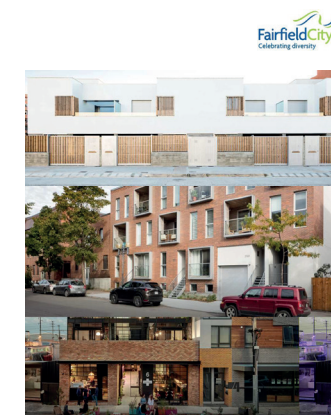
# 2018



# FAIRFIELD CITY LOCAL HOUSING STRATEGY 2022

**FAIRFIELD CITY  
CENTRE URBAN  
DESIGN STUDY 2022**

2022



# AFFORDABLE HOUSING REFORMS (2023)

2023





# STRATEGIC CONTEXT

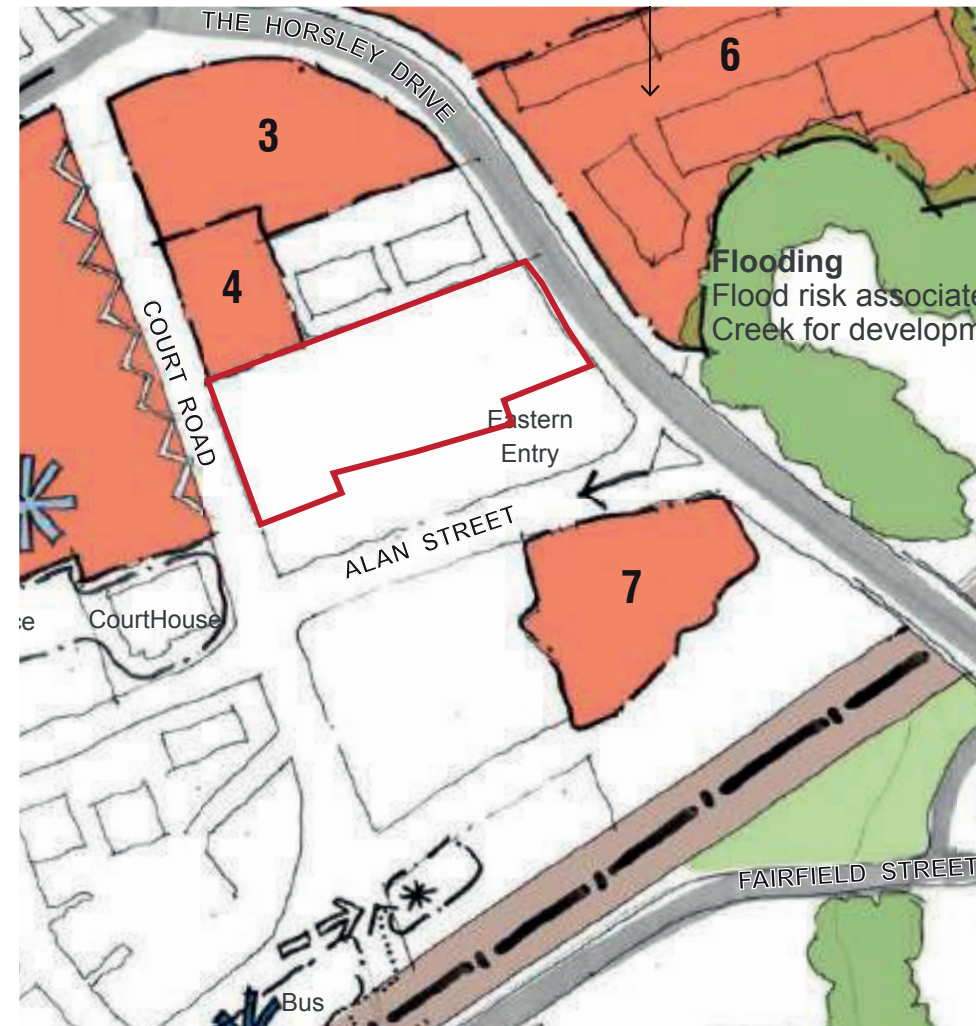
## FAIRFIELD CITY CENTRE DEVELOPMENT CONTROL PLAN 2013



### Court Road Precinct

- The Court Road Precinct indicated the built form that has 4 buildings on Site and a linear building on the North side of Alan Street.
- In 2015, a development consent granted for construction of an 8-12 storeys mixed-use development consisting of 4 multi-storey buildings containing 290 residential apartments on the subject site.

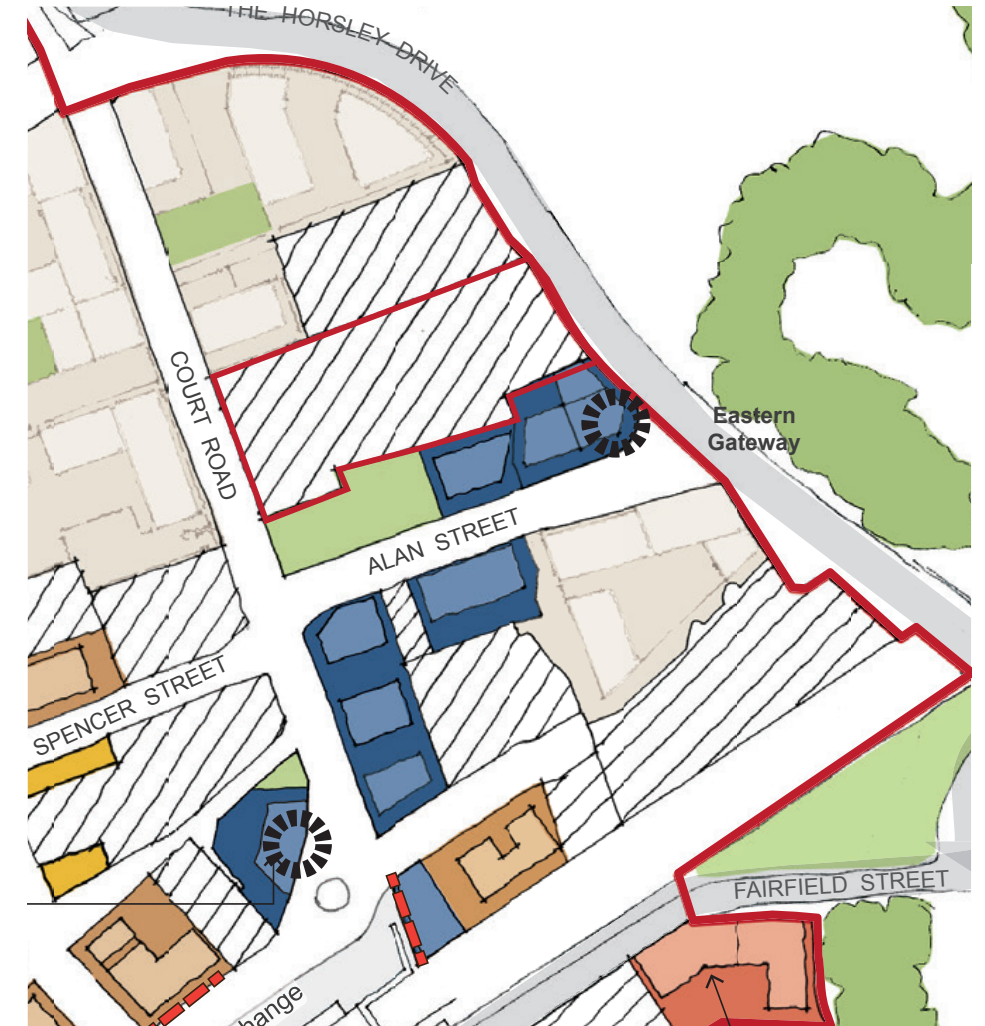
## FAIRFIELD CITY CENTRE URBAN DESIGN STUDY (2018)



### Site Analysis Plan

- The document was adopted in 2018
- Applies to sites over 2,500 m<sup>2</sup>
- Council adopted framework for landowner-initiated planning proposals on key sites.
- Site was excluded from this Urban Design Study on the basis of it having a 'recent approval'.

## FAIRFIELD CITY CENTRE URBAN DESIGN STUDY 2022

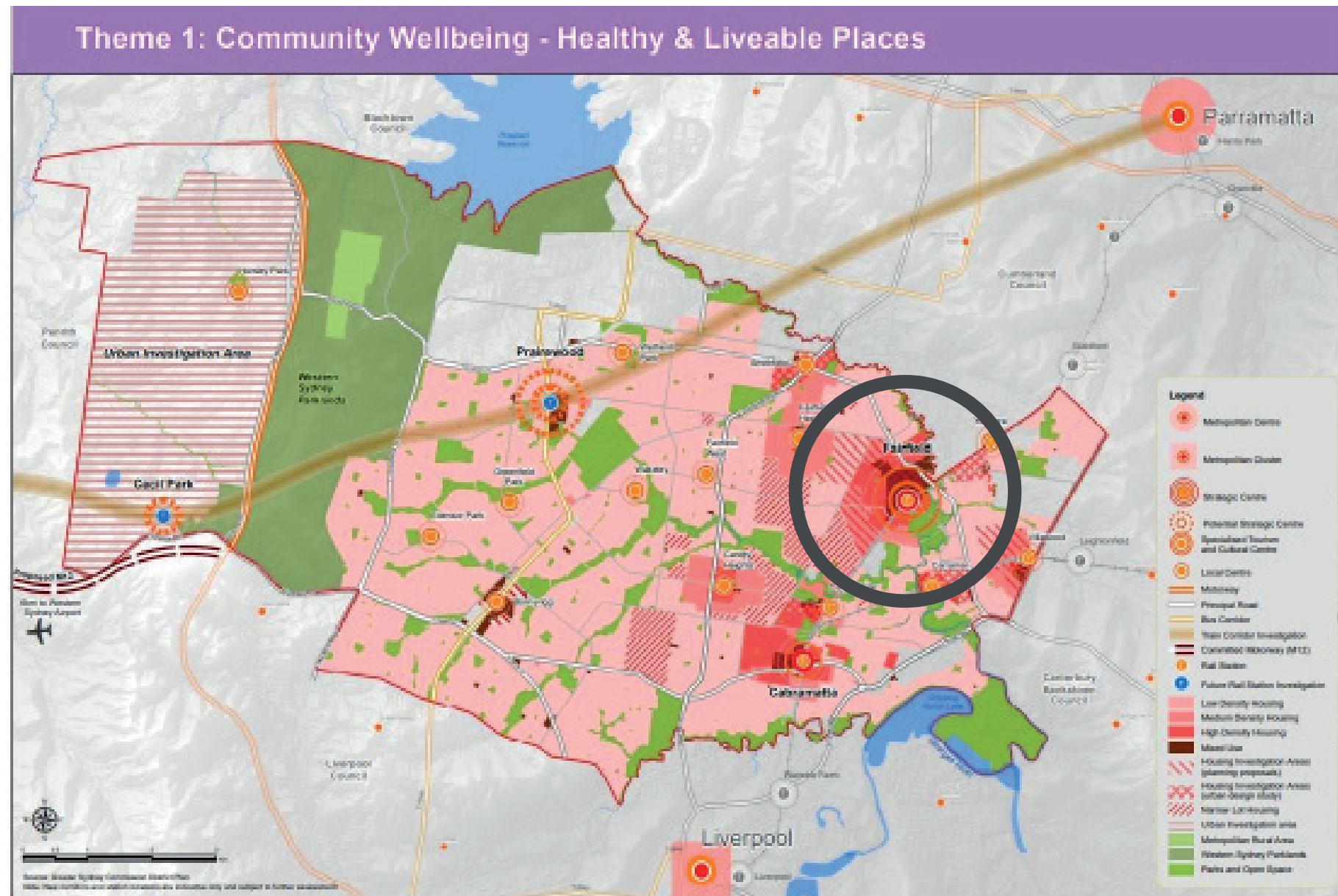


### Urban Design Framework

- The document was adopted in 2022
- Applies to all sites in the town centre under 2,500 m<sup>2</sup>
- This is relevant in terms of higher heights and FSR proposed in the centre nearby 46 Court Road, but are less than 2,500 m<sup>2</sup>



# FAIRFIELD CITY LOCAL HOUSING STRATEGY 2022



## HOUSING AFFORDABILITY

- Fairfield is the largest existing strategic town centre with a train station within the LGA
- In 2016, 20.9% of Fairfield City's households, were experiencing housing stress compared to 11.8% in Greater Sydney and 15% in the WSROC Region.
- Fairfield City had a higher proportion of households experiencing housing stress. The areas with the highest percentages were:
  - Fairfield (31.5%)
  - Cabramatta (27.4%)
  - Carramar (26.0%)
- Links more than 9,000 refugees or 50% of NSW arrivals as settling in Fairfield, necessitating the need for affordable housing
- States that it is the most disadvantaged non-rural LGA in NSW according to SEIFA, noting that affordable housing can improve the quality of life for residents



# Housing Stress in Fairfield

Rental costs >30% of income, 2021

export ▼ reset ↺

Fairfield City - Enumerated

Area	Number	Total renting households	Percent %
Greenfield Park	250	442	56.6
Fairfield	1,914	3,435	55.7
Fairfield West	673	1,249	53.9
Old Guildford	119	222	53.6
Fairfield Heights	595	1,119	53.2
Fairfield Place	4,128	7,957	51.9
Wakeley	182	353	51.6

https://profile.id.com.au/fairfield/tenure?WebID=210

## Housing Stress

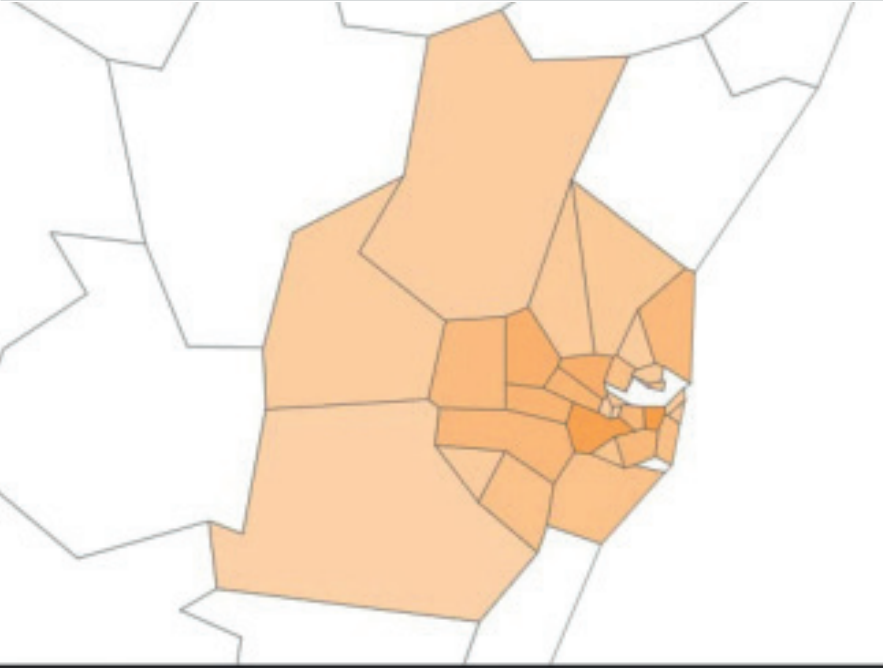
- The Social Atlas report on the Fairfield website (.id solutions) identifies that Fairfield has 55.7% of households in 2021 who spend more than 30% of their income on rent.
- The Social Atlas report on the Fairfield website (.id solutions) identifies that Fairfield is one of the highest area of disadvantage

## 1 in 2 households in Fairfield LGA face rental stress, Homelessness NSW data shows

New data reveals the extent of one major city’s rental crisis, with one area reporting one in two households are under rental stress.

Jessica Wang

3 min read July 8, 2023 - 9:52AM NCA NewsWire



LGA-Mapping	Renter Housholds in Rental Stress
Council of the City of Sydney	20,697.00
Canterbury-Bankstown Council	19,071.00
City of Parramatta Council	13,115.00
Blacktown City Council	12,953.00
Cumberland Council	11,296.00
Fairfield City Council	11,237.00
Liverpool City Council	10,041.00
Inner West Council	9,917.00

https://www.news.com.au/finance/real-estate/sydney-nsw/1-in-2-households-in-fairfield-lga-face-rental-stress-homelessness-nsw-data-shows/news-story/f185c455436598effcc6eb9e80db11eb

In Fairfield City Council area, over 11,000 households experience housing stress

**BRIEFING NOTE**




SOCIAL JUSTICE NETWORK


**HOUSING AND HOMELESSNESS IN THE ELECTORATE OF FAIRFIELD**

Statistics and stories about the number of families in our communities struggling to pay the rent, living in crowded or unsuitable accommodation, or without secure shelter, have become so commonplace they no longer shock us the way they should.


IN THE ELECTORATE OF FAIRFIELD:




1045 people are experiencing homelessness<sup>1</sup>, with 15 people sleeping rough<sup>2</sup>



3798 households are on the general waitlist for social housing, with a further 241 households on the priority list. Wait-times in most major centres exceed 5 years<sup>3</sup>



5998 households are in rental stress, 50% of all renters.<sup>4</sup> This is the highest rate of rental stress in NSW



7849 people are on the JobSeeker Payment<sup>5</sup>

Median Weekly Rent

\$386 (\$55/day)<sup>6</sup>

Jobseeker Rate

\$48/day

Commonwealth Rent Assistance (maximum amount)

\$11/day

For members of the St Vincent de Paul Society, the stories and statistics that feature in the daily news are given shape and substance through the assistance we provide to people struggling to make ends meet. They are people we know and walk beside.

This is why the St Vincent de Paul Society is calling on the next NSW Government to:

Ensure our housing system delivers on the right to home:

- Work towards 5000 new social housing homes per year
- Improve rental affordability
- Regulate for healthier homes
- Regulate for accessible homes
- Hold a housing summit

Protect renters through fairer tenancy laws:

- Ensure fair limits on rent increases
- Replace ‘no grounds’ evictions provisions
- Prohibit blanket no pets clauses

Fund specialist services for people who are homelessness:

- Invest an additional \$152 million per annum in specialist homelessness service delivery

<sup>1</sup> NSW Parliament (2018) NSW homelessness by SED – Key Statistics. Available online at <https://www.parliament.nsw.gov.au/researchpapers/Documents/NSW%20Homelessness%20by%20SED%20-%20Key%20Statistics.pdf> (note: a person is considered homeless if they are living in non-conventional accommodation or in short-term or emergency accommodation)

<sup>2</sup> NSW Communities and Justice (2021) Technical paper NSW Statewide Street Count

<sup>3</sup> Source: NSW FACS (2021) Expected Waiting Times. Available online at <https://www.facs.nsw.gov.au/housing/help/applying-assistance/expected-waiting-times>. Figures are for the Fairfield and Holroyd allocation zones.

<sup>4</sup> ABS Census (2021). Available online at <https://abs.gov.au/census/find-census-data/quickstats/2021/AUS> (Households are in rental stress if rent payments are more than 30% of household income).

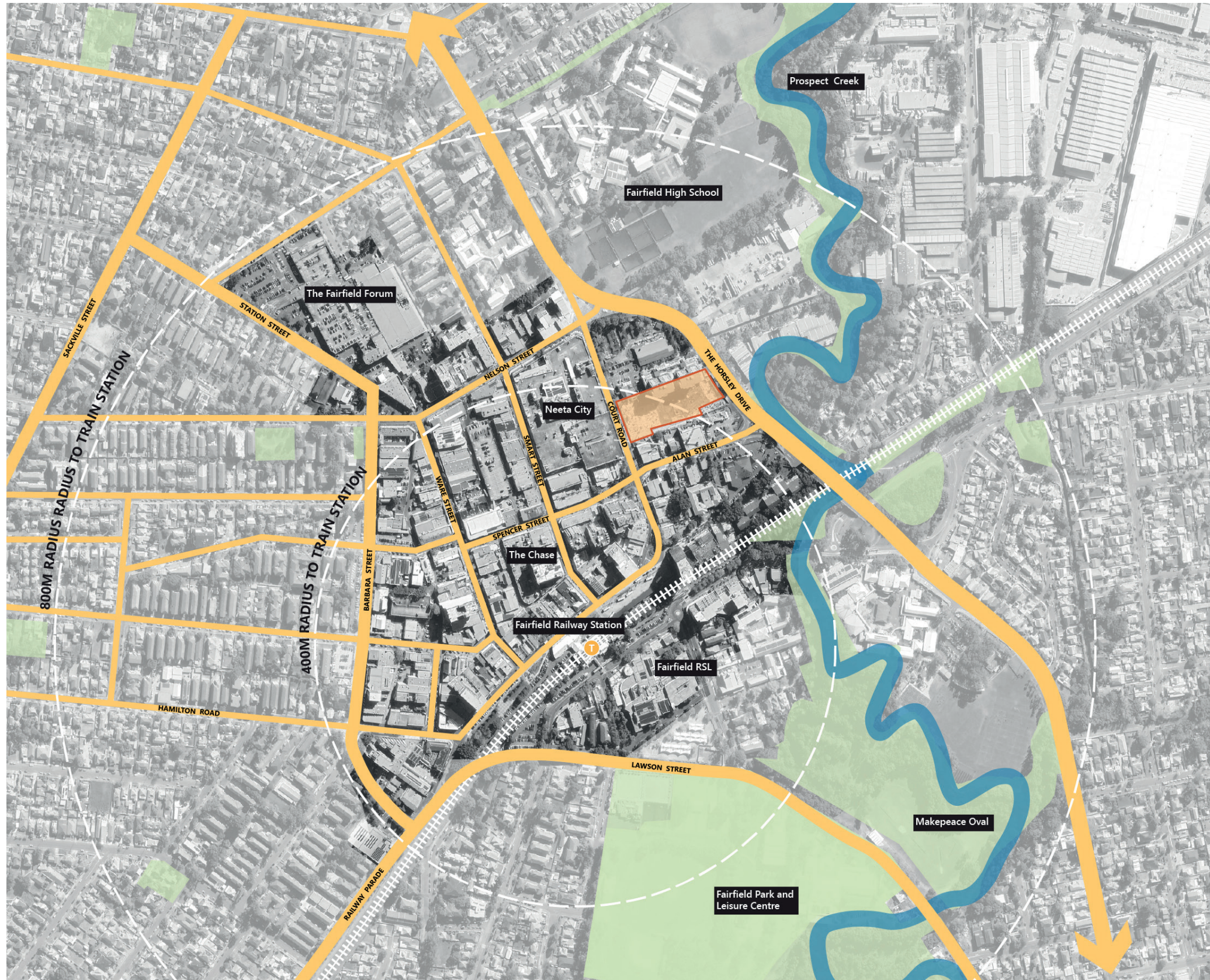
<sup>5</sup> NSW Parliament (2021) Jobseeker recipients by NSW Electorate. Available online at <https://www.parliament.nsw.gov.au/researchpapers/Pages/jobseeker-recipients-by-NSW-electorate.aspx>

<sup>6</sup> ABS Census (2021). Available online at <https://abs.gov.au/census/find-census-data/quickstats/2021/AUS>

46 Court Road, Fairfield Urban Design Report| October 2024 | 9



# SITE CONTEXT



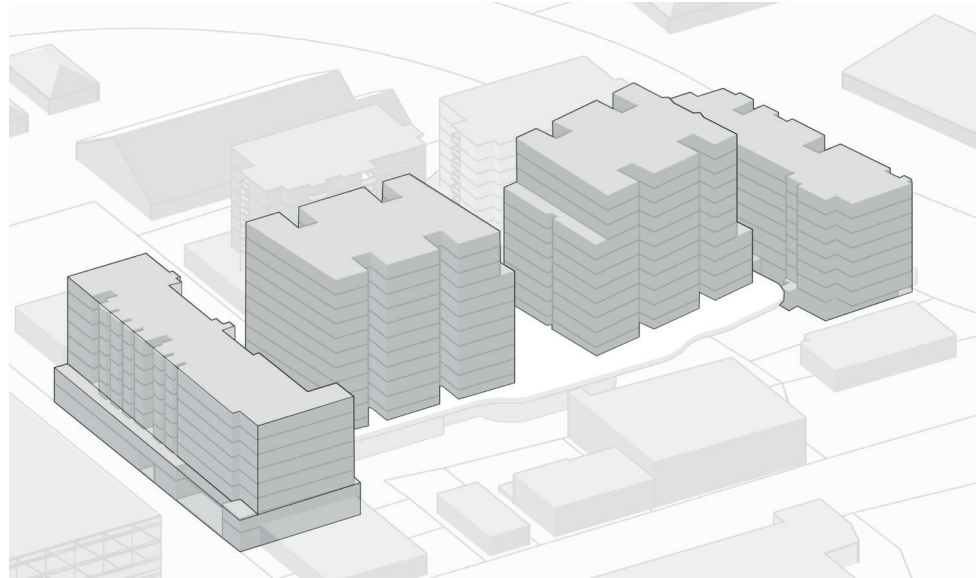
This is a large site, that is well placed in the Fairfield CBD:

- within 400m of Fairfield Railway Station
- 500m Fairfield High School
- surrounded by retail and food outlets
- double frontages including arterial road and street frontage



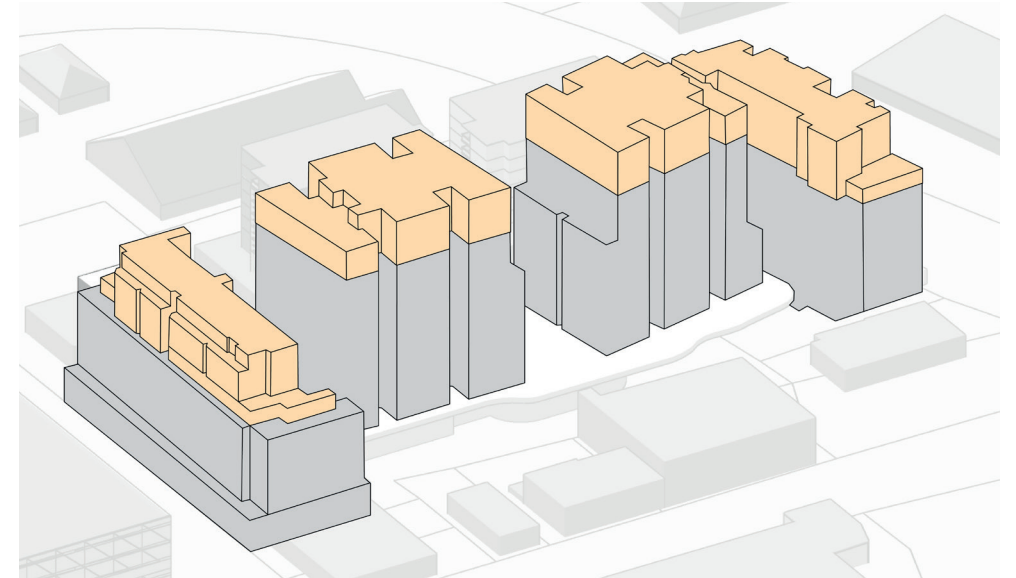
# MASSING DESIGN DEVELOPMENT

A set of modifications to the built form have been made to the scheme to respond to the existing and anticipated future built form of Fairfield City Centre.



Approved DA

- Approved DA for 8-12 storeys mixed-use development consisting of 4 multi-storey buildings containing 290 residential apartments



Amended massing

## Along Court Road:

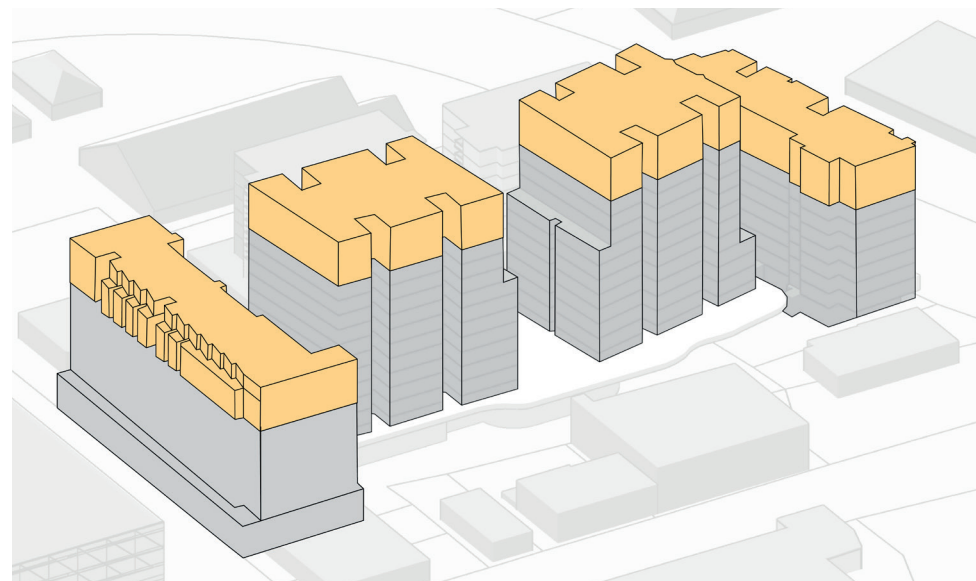
- Increase upper-level street setbacks on Building A to create a distinct break between the base-middle-top and to reduce the building's visual bulk.
- Refine and distinguish architectural expression to present the building as a composition of discreet elements.
- Increase upper-level side-setbacks on Building A to create a distinct break between the upper levels of the future neighbouring buildings.

## Along The Horsley Drive

- Increase upper-level street setbacks on Building D to create a distinct break between the base-middle-top and to reduce the building's visual bulk.
- Refine and distinguish architectural expression to present the building as a composition of discreet elements.
- Increase upper-level side-setbacks on Building D to create a distinct break between the upper levels of the existing and future neighbouring buildings.

## Mid-Block Buildings

- Introduce a step in the upper levels on the east of Building C and the west of Building B creating a stepping form from the middle of the site, down toward the adjacent street-front buildings.
- Utilise the stepped building form to create additional communal open space on the upper levels for various activities to cater to different user groups. This space will be sunny and scenic.

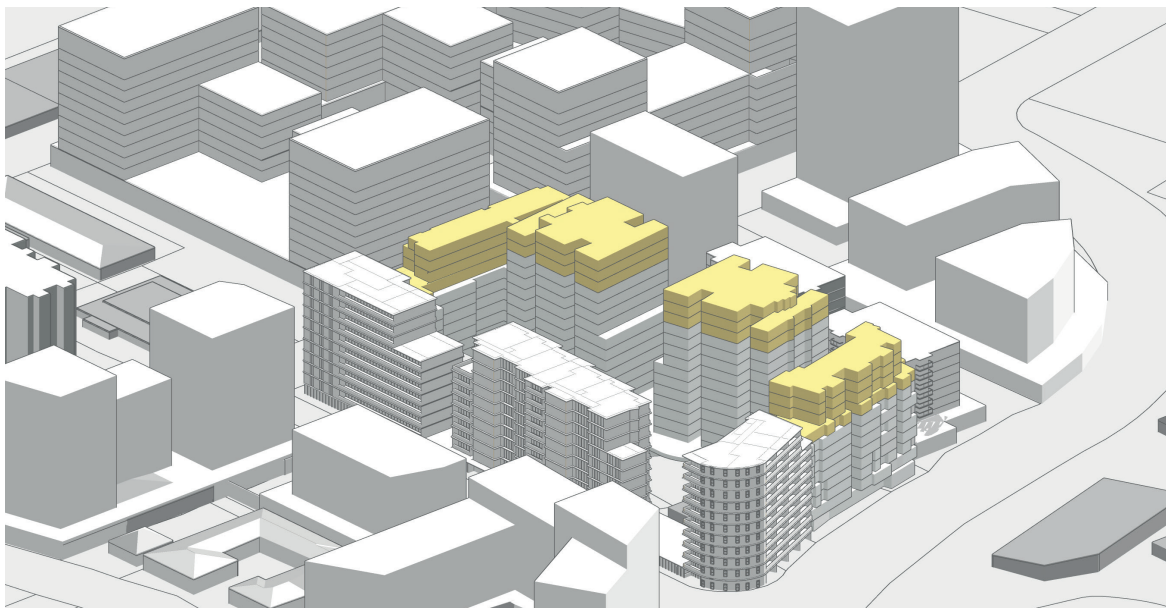
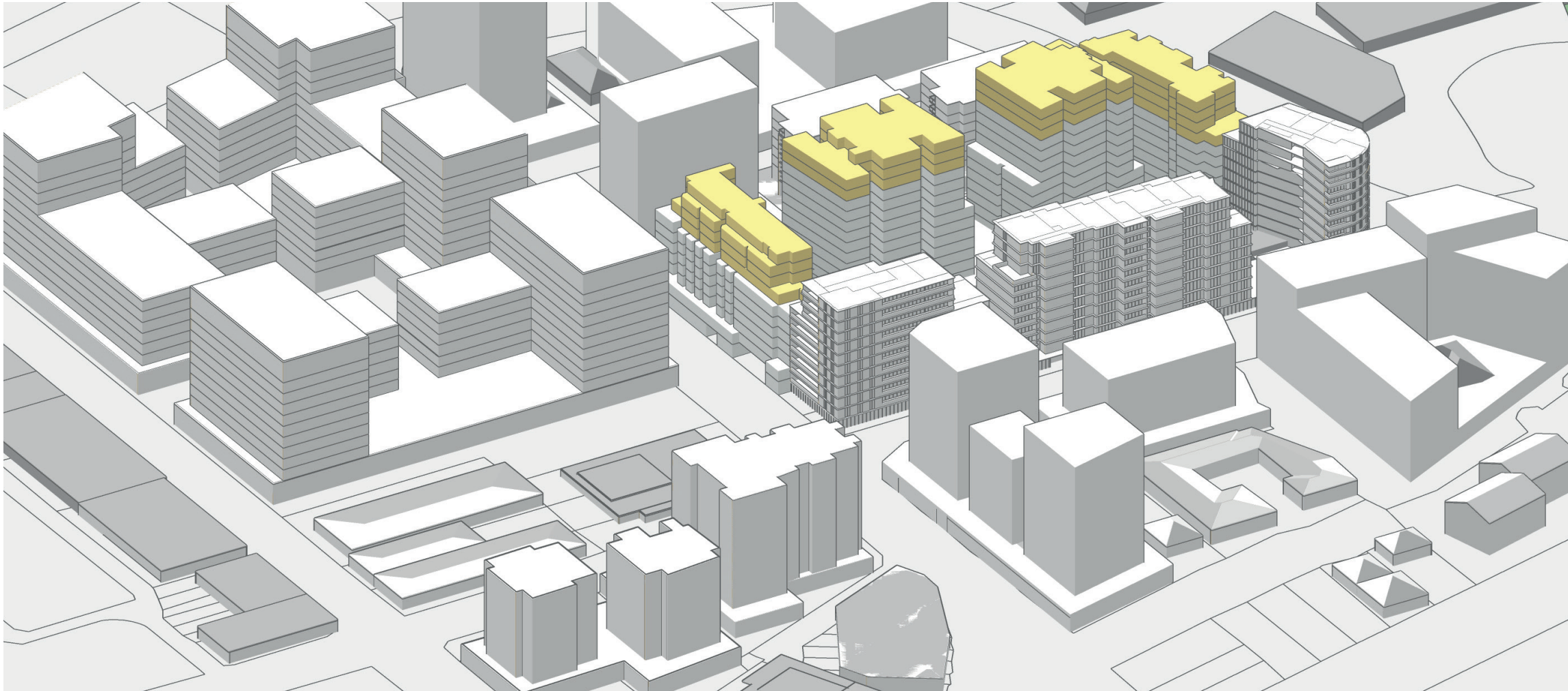


Lodged scheme

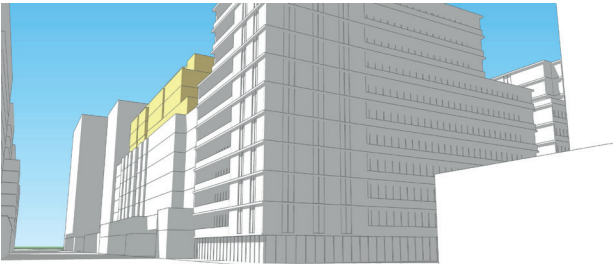
- Extruded built form over the approved DA



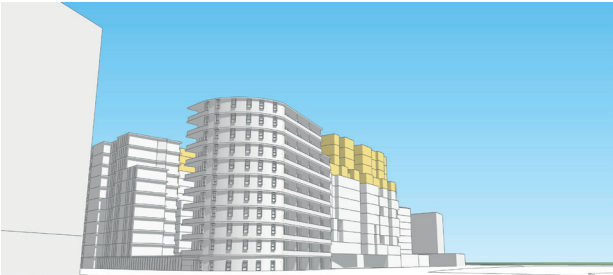
# SCENARIO 1: CURRENT CONTROLS WITH AMALGAMATION OF NEIGHBOURING LOTS



- NEETA CITY SITE:**
- The model based on current LEP and DCP controls
  - The Applicant should show the development potential of the site based on current LEP and DCP controls, which include the permissible forms of development in Zone E2 (not residential), maximum FSR of 4:1 and maximum height of 42m.
- SOUTHERN NEIGHBOURS:**
- The model based on Current LEP/DCP/ADG controls WITH amalgamation of neighbouring lots
  - The Applicant should show how all the southern lots can be amalgamated to meet the site area requirements of clauses 7.6 and 7.7 of the LEP so that sites can be developed to their full potential of FSR 3.5:1 and 38m height.



Looking north at the corner of Alan Street and Court Road



Looking north at the corner of Alan Street and Horsley Drive




Looking south at the corner of Horsley Drive



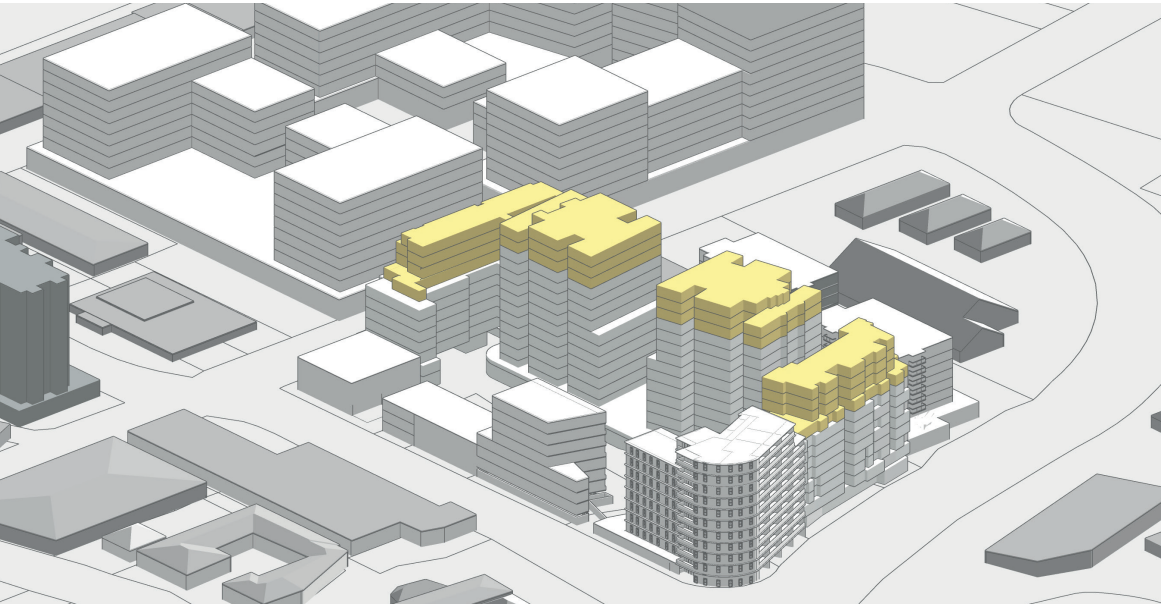
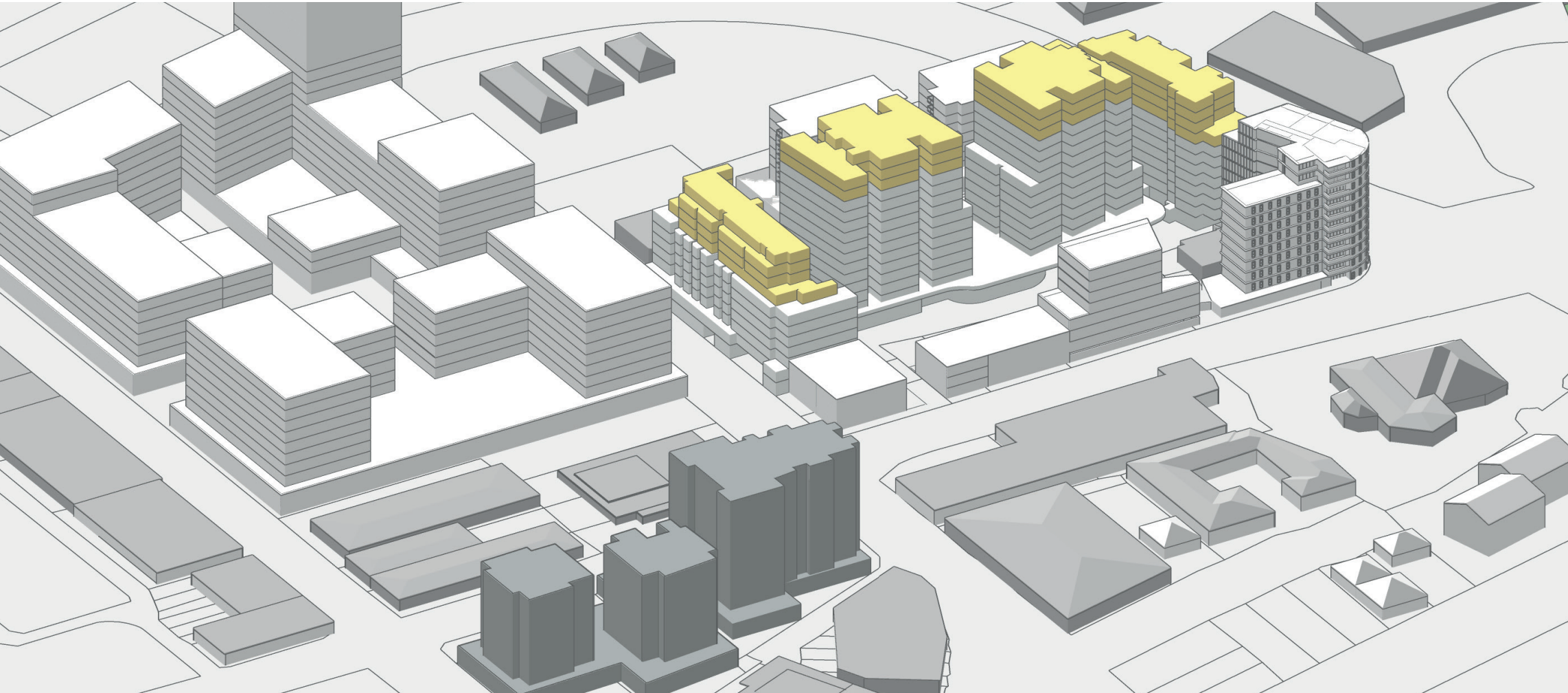
Looking south along Court Road from Neeta City

**KEY**

 Affordable Housing



# SCENARIO 2 – MODEL BASED ON URBAN DESIGN STUDY 2018

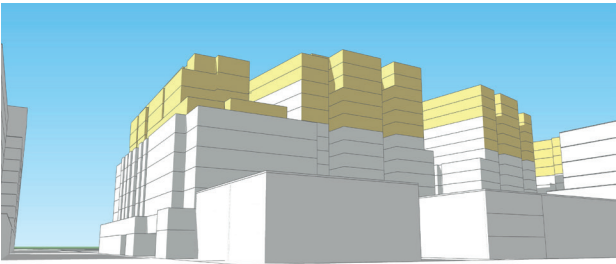


**NEETA CITY SITE:**

- The UDS 2018 envisaged possible development of this site of between 4-18 storeys for the purposes of residential accommodation.

**SOUTHERN NEIGHBOURS:**

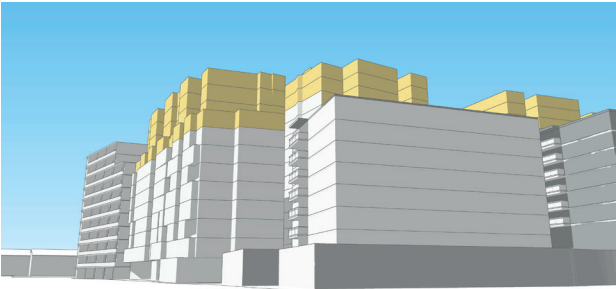
- The model based on Current LEP/DCP/ADG controls WITH amalgamation of neighbouring lots
- Without amalgamation, only the two lots comprising the KFC site are likely to be able to achieve the maximum FSR of 3.5:1 and 38m in height under the LEP. The other five remaining lots will only be able to achieve the lesser maximum of 2.5:1 FSR and 26m height as they will not meet the site area requirements, and their separate ownership makes amalgamation unlikely.



Looking north at the corner of Alan Street and Court Road



Looking north at the corner of Alan Street and Horsley Drive



Looking south at the corner of Horsley Drive



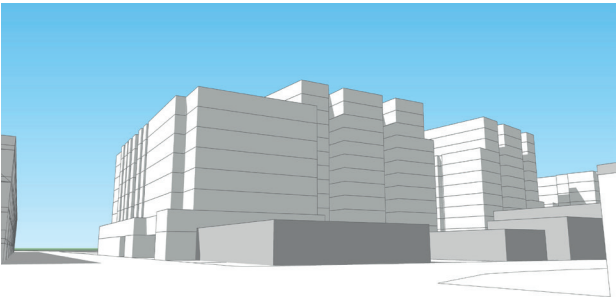
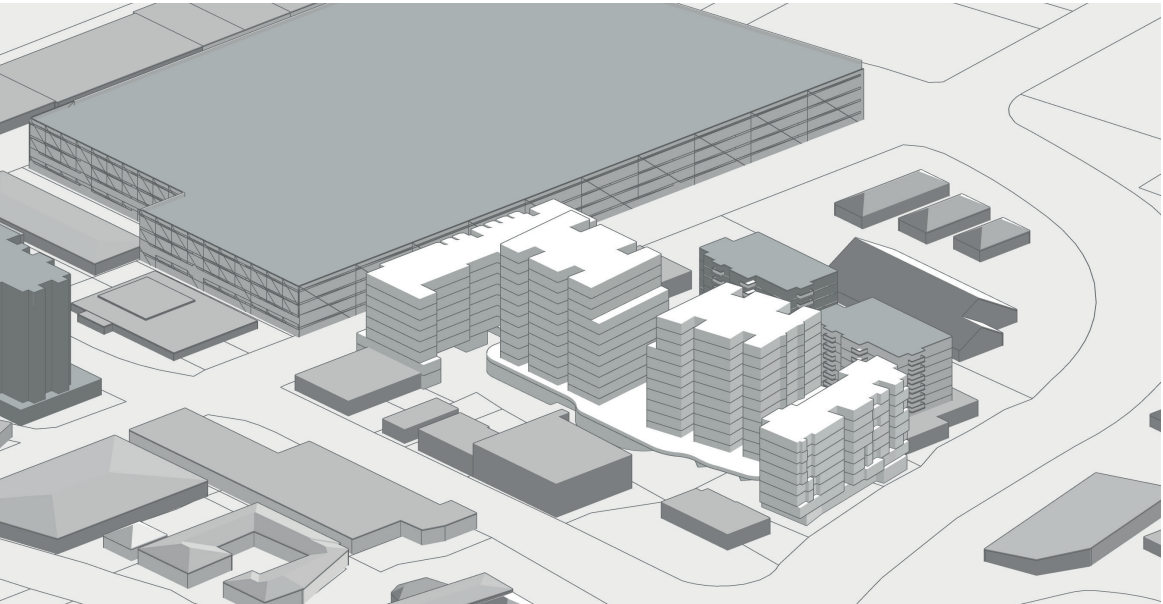
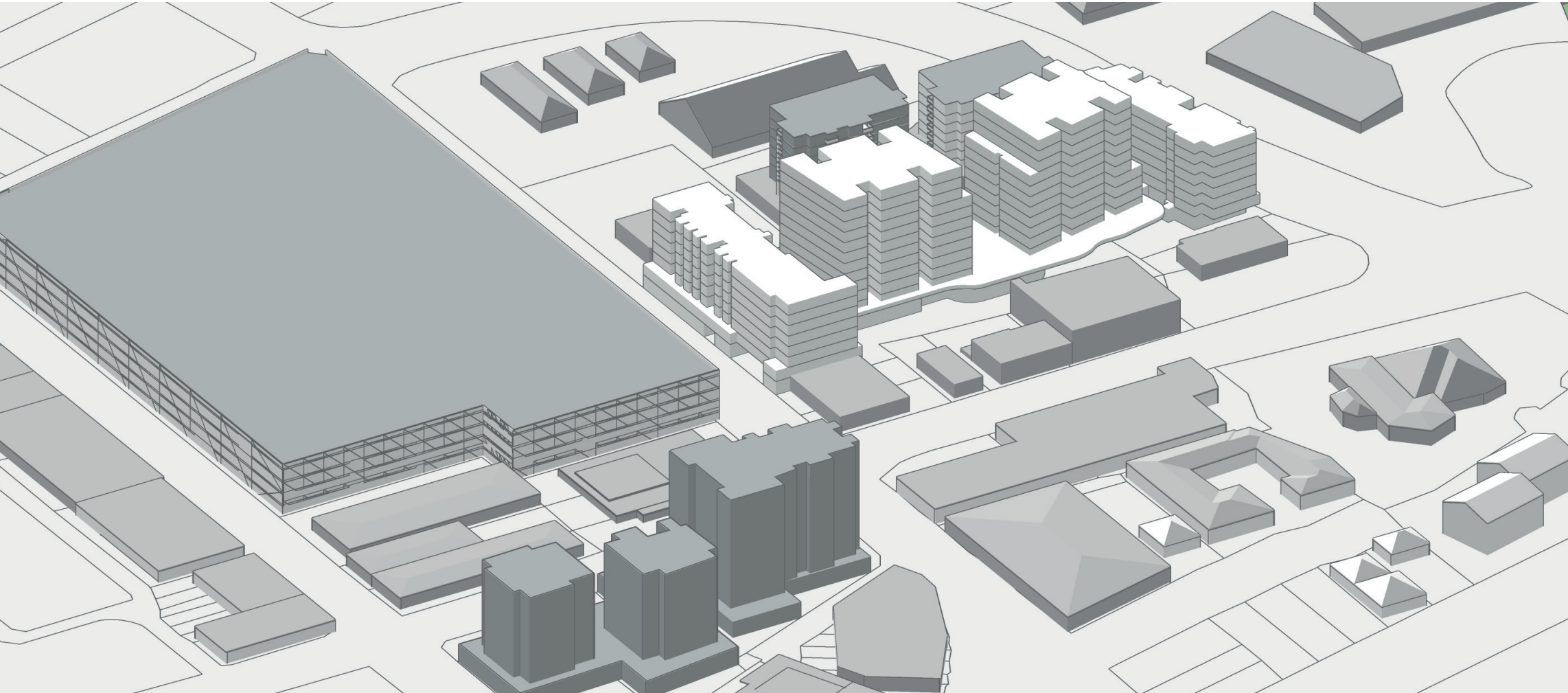
Looking south along Court Road from Neeta City

**KEY**

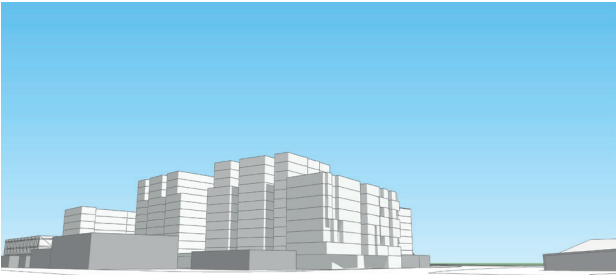
Yellow box Affordable Housing



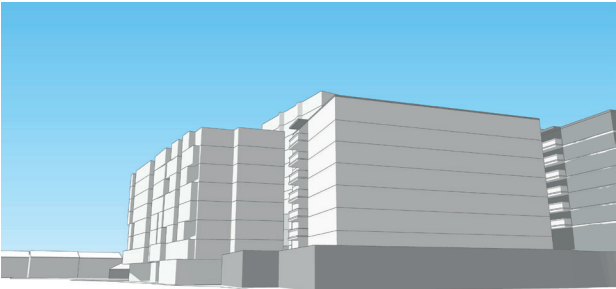
# EXISTING CONDITIONS AND APPROVED DA UNDER CONSTRUCTION



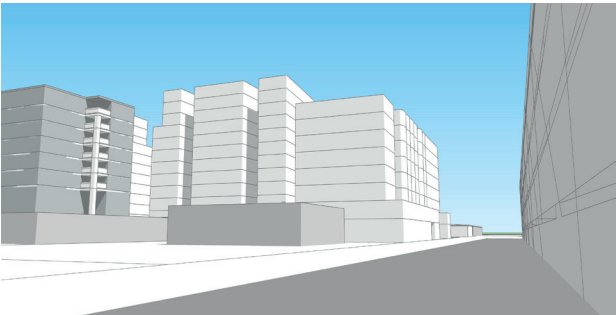
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Looking south at the corner of Horsley Drive



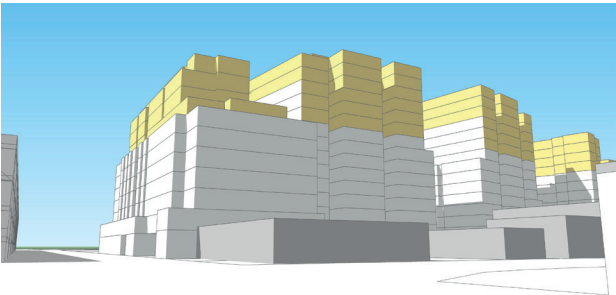
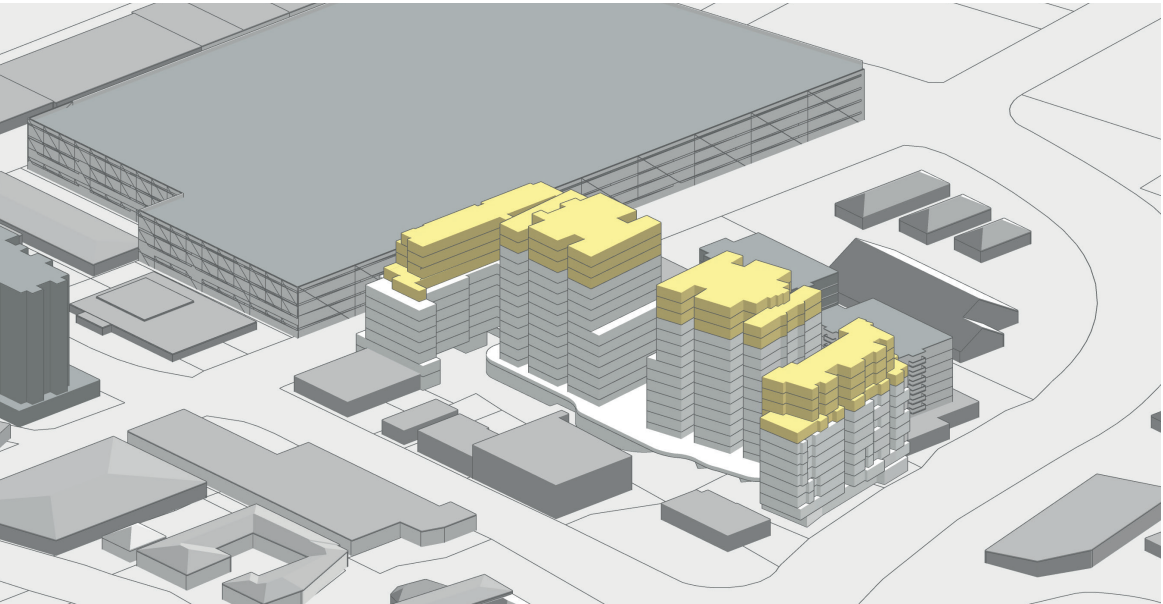
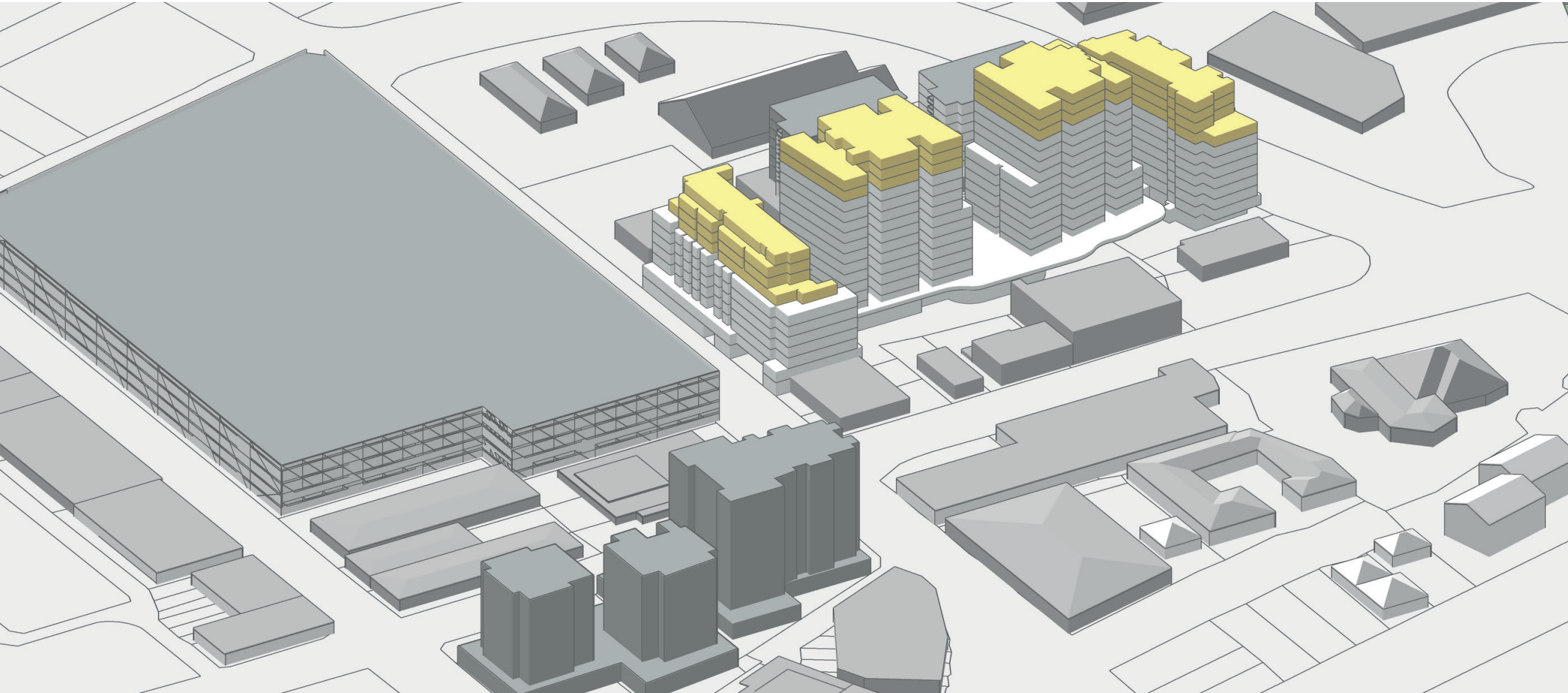
Looking south along Court Road from Neeta City

## KEY

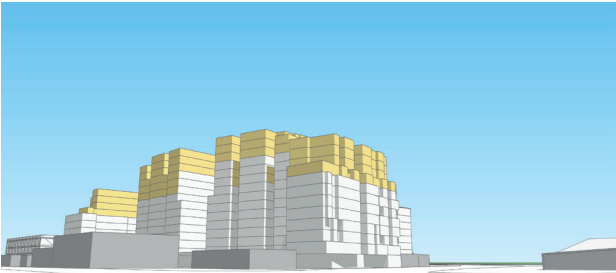
Approved DA



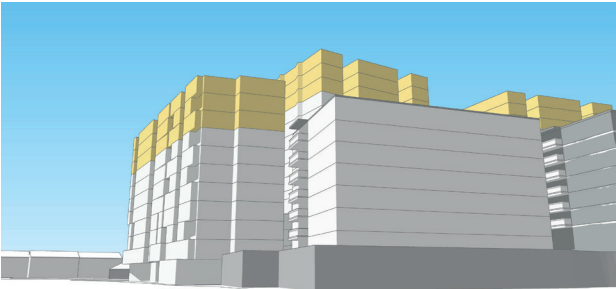
# EXISTING CONDITIONS WITH PROPOSAL



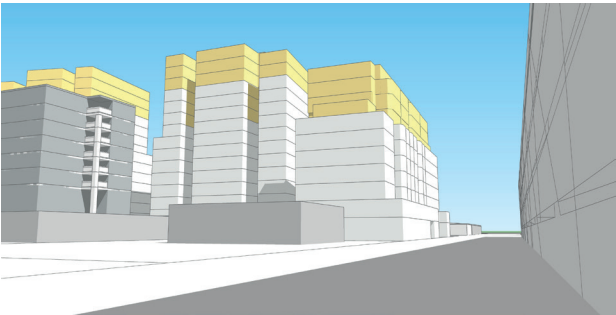
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Looking north at the corner of Alan Street and Horsley Drive



Looking south at the corner of Horsley Drive



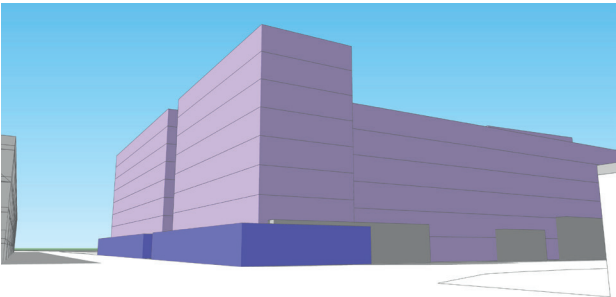
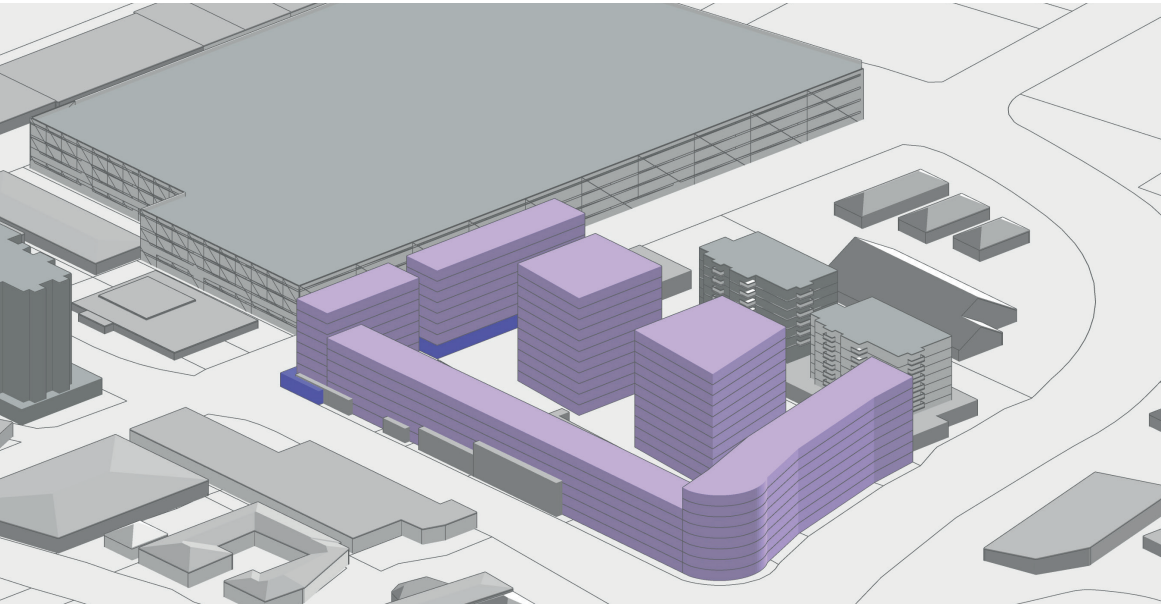
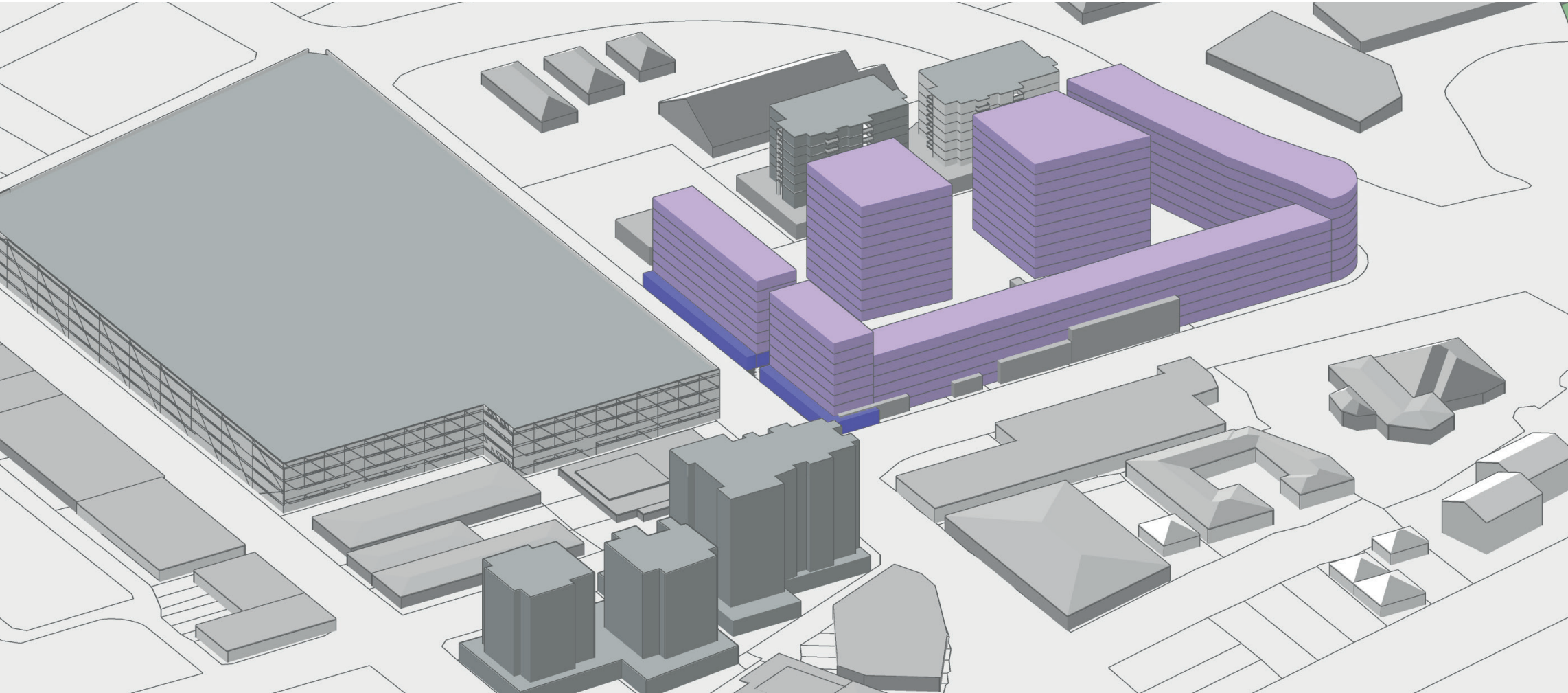
Looking south along Court Road from Neeta City

## KEY

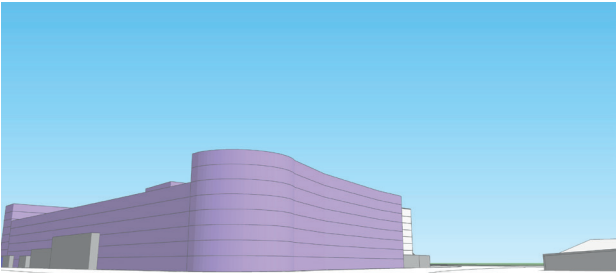
- Approved DA
- Proposal



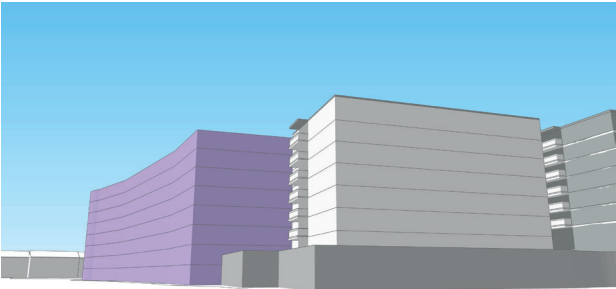
# DCP MASSING



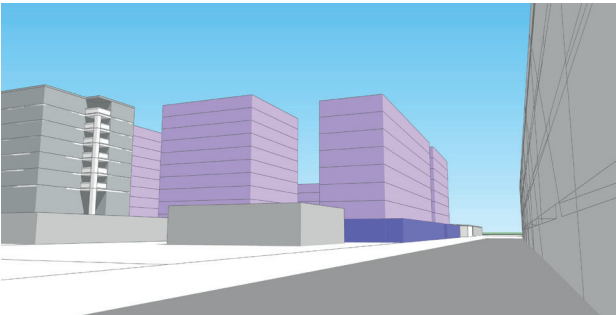
Looking north at the corner of Alan Street and Court Road



Looking north at the corner of Alan Street and Horsley Drive



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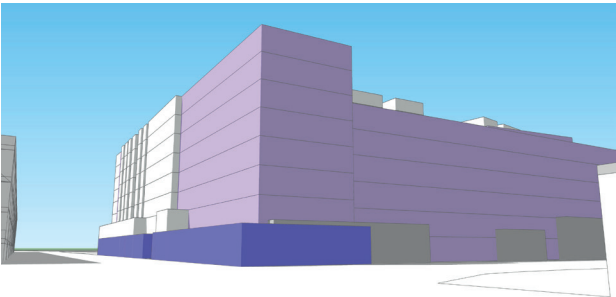
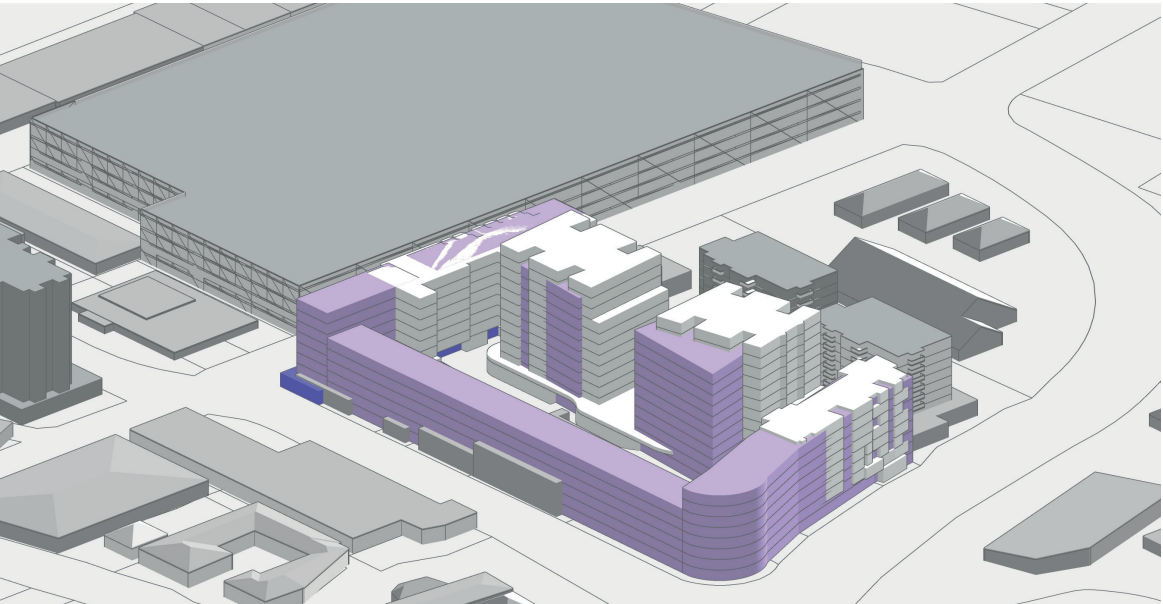
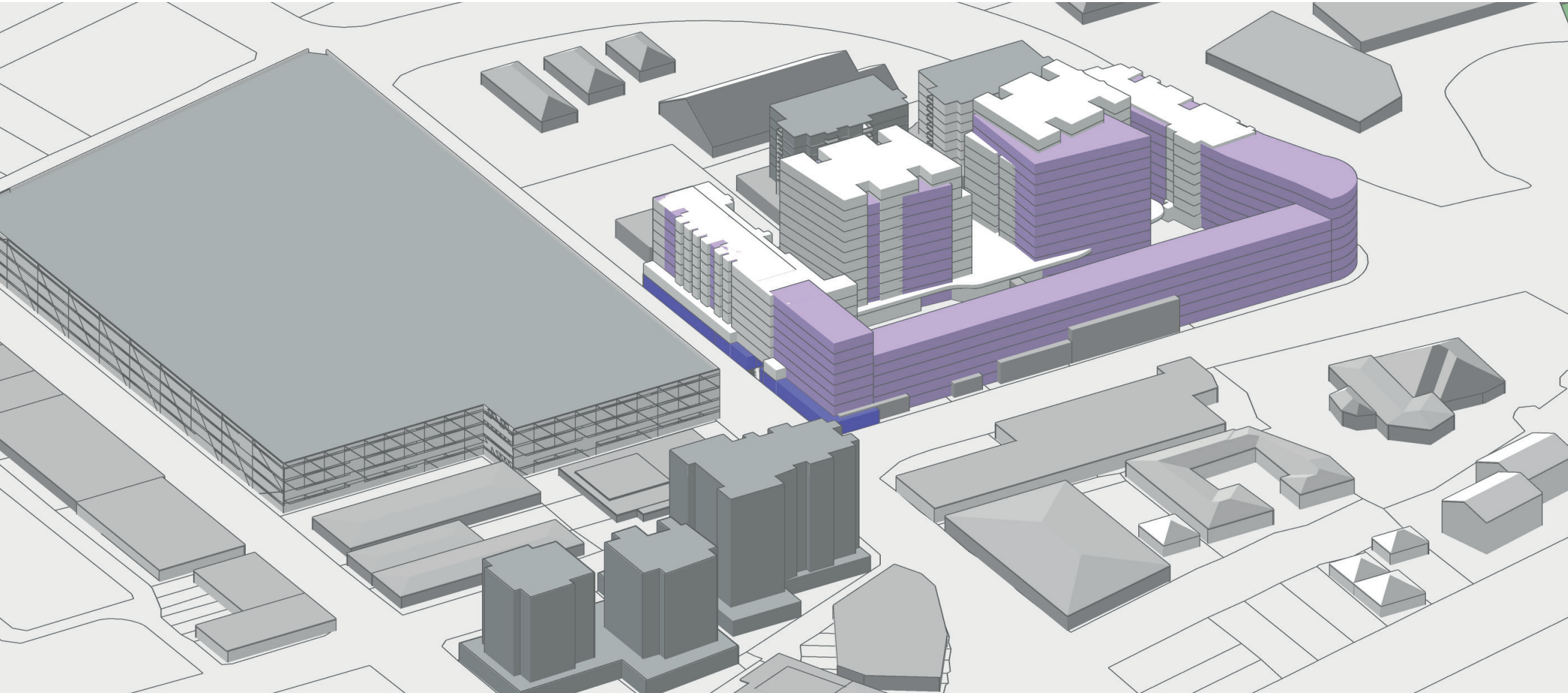
Looking south along Court Road from Neeta City

## KEY

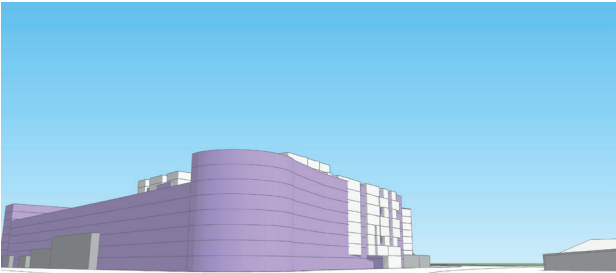
DCP



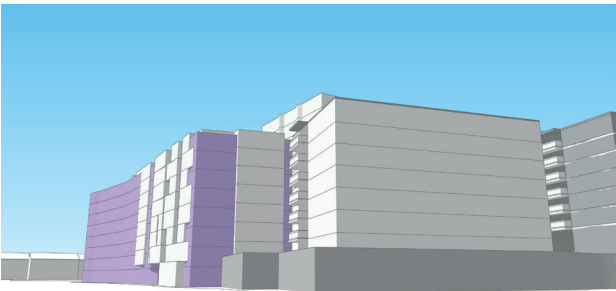
# DCP MASSING WITH EXISTING CONDITIONS AND APPROVED DAS



Looking north at the corner of Alan Street and Court Road



Looking north at the corner of Alan Street and Horsley Drive



Looking south at the corner of Horsley Drive



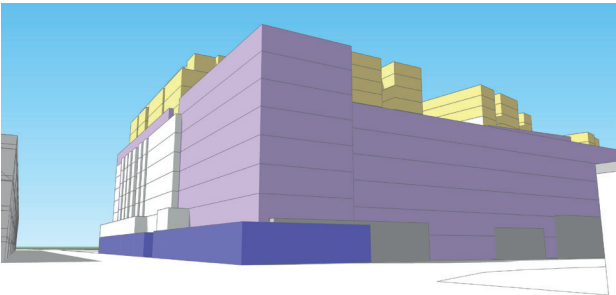
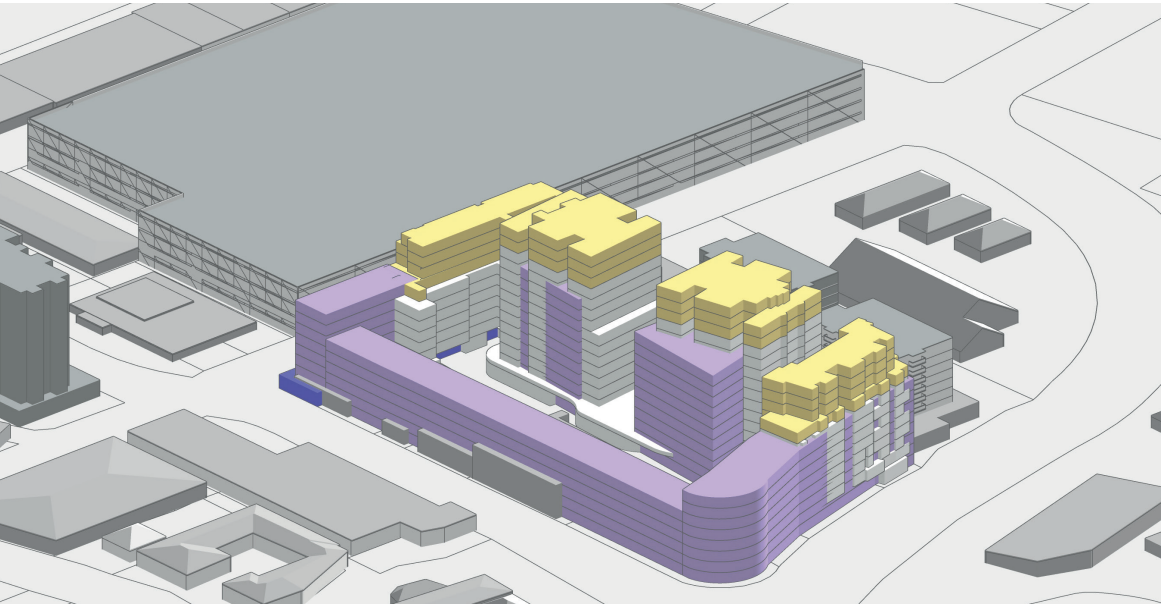
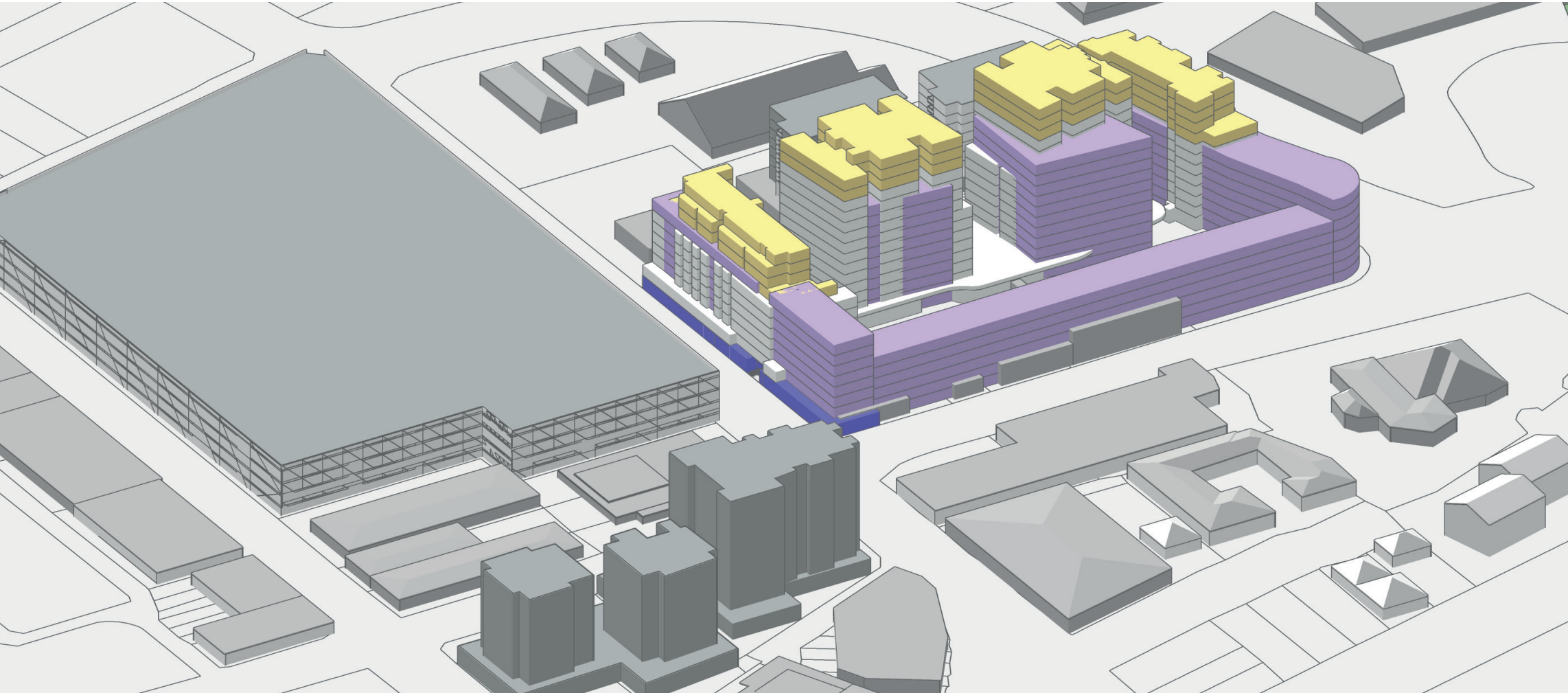
Looking south along Court Road from Neeta City

## KEY

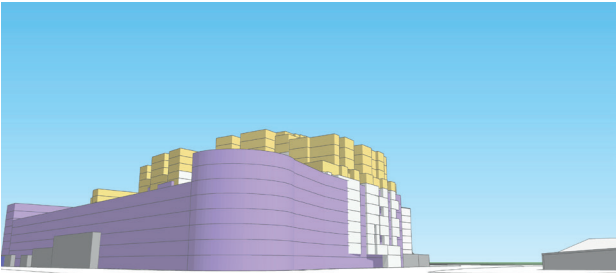
- DCP
- Approved DA



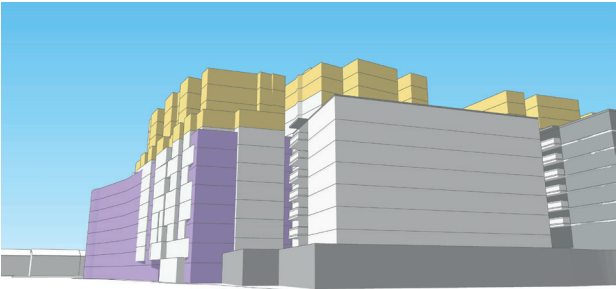
# DCP MASSING WITH APPROVED DA AND PROPOSAL



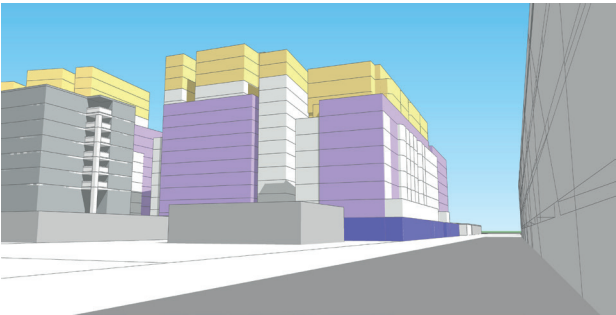
Looking north at the corner of Alan Street and Court Road



Looking north at the corner of Alan Street and Horsley Drive



Looking south at the corner of Horsley Drive



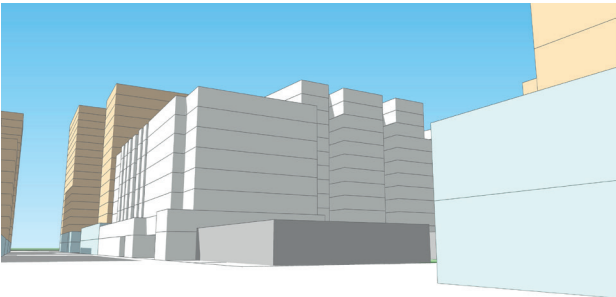
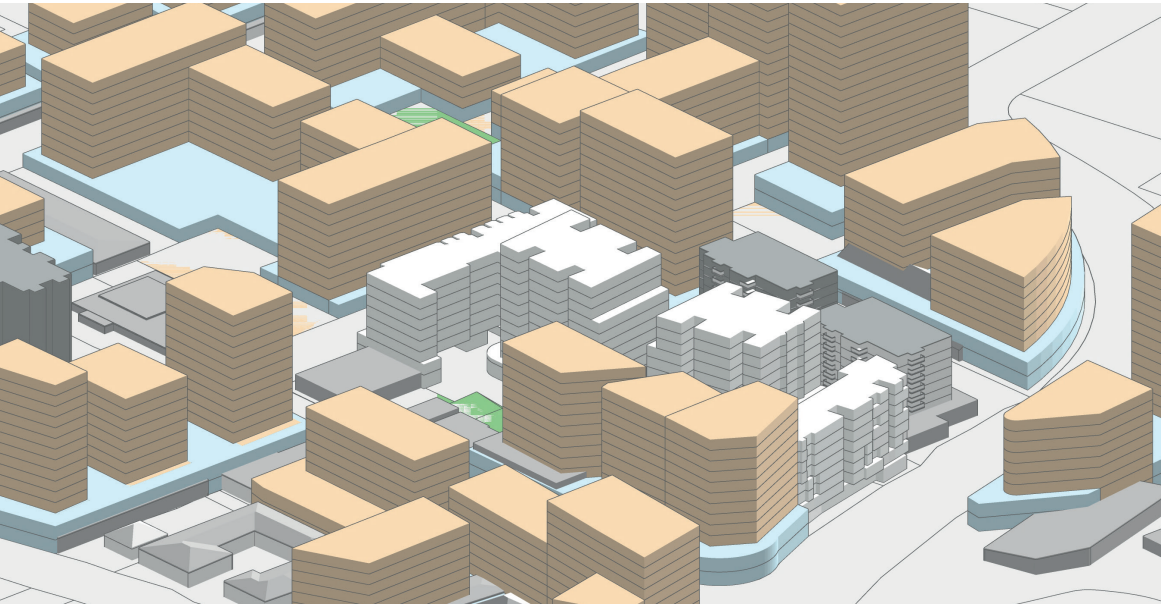
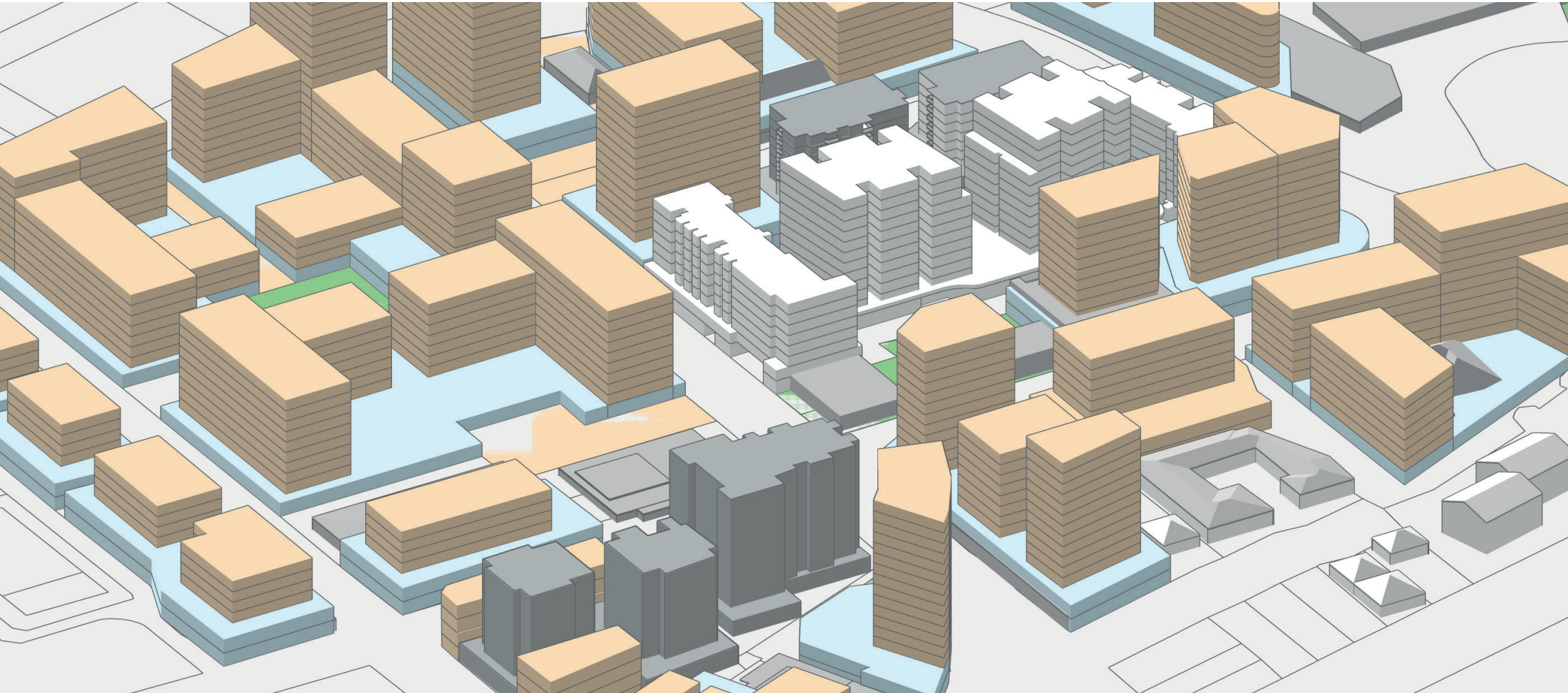
Looking south along Court Road from Neeta City

## KEY

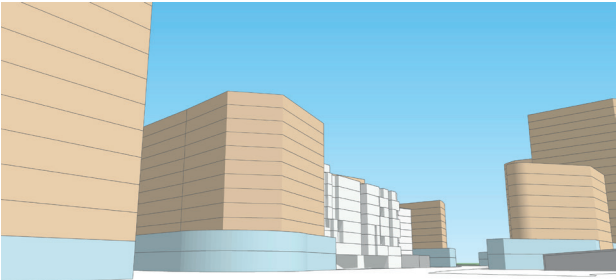
- DCP
- Approved DA
- Proposal



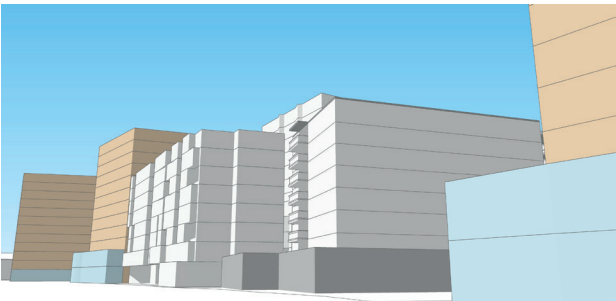
# URBAN DESIGN STUDY 2018 WITH APPROVED DA



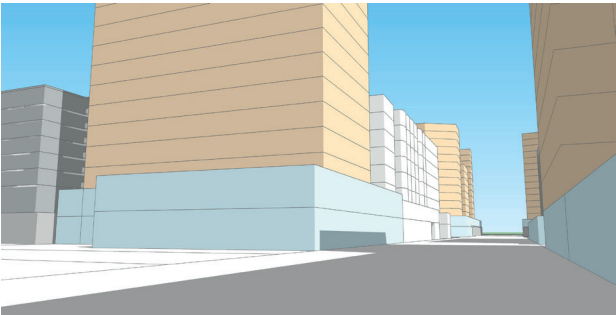
Looking north at the corner of Alan Street and Court Road



Looking north at the corner of Alan Street and Horsley Drive



Looking south at the corner of Horsley Drive



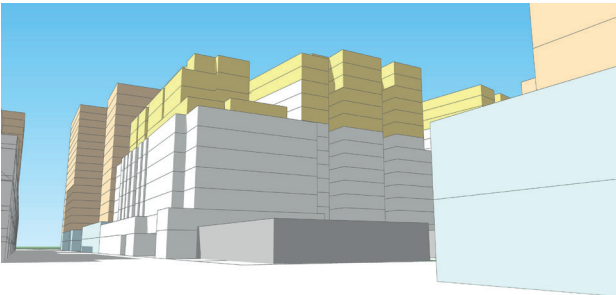
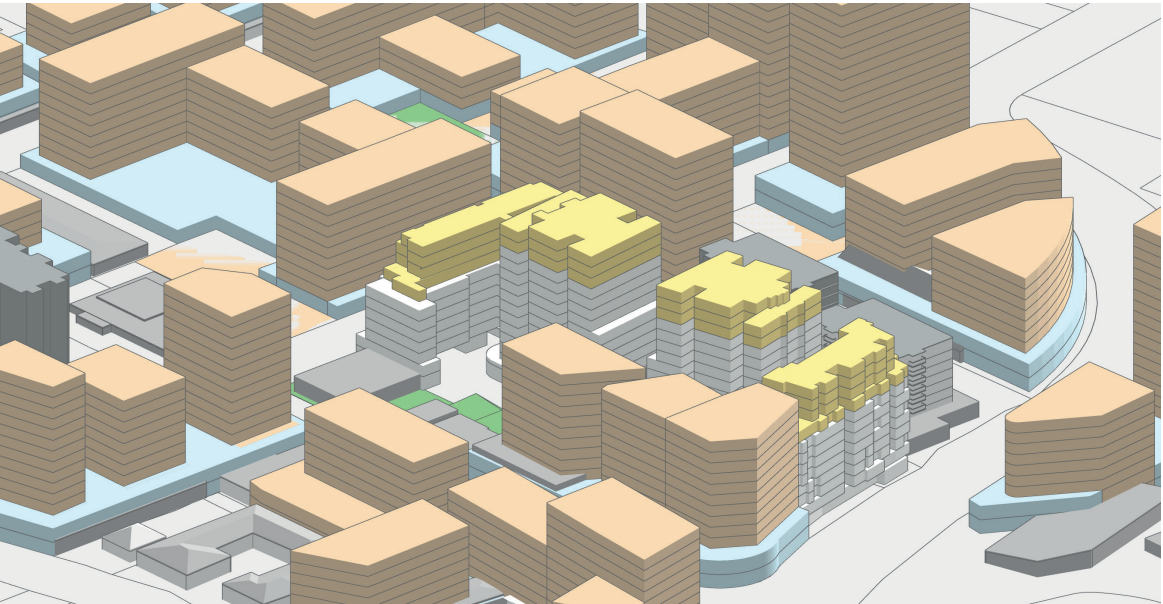
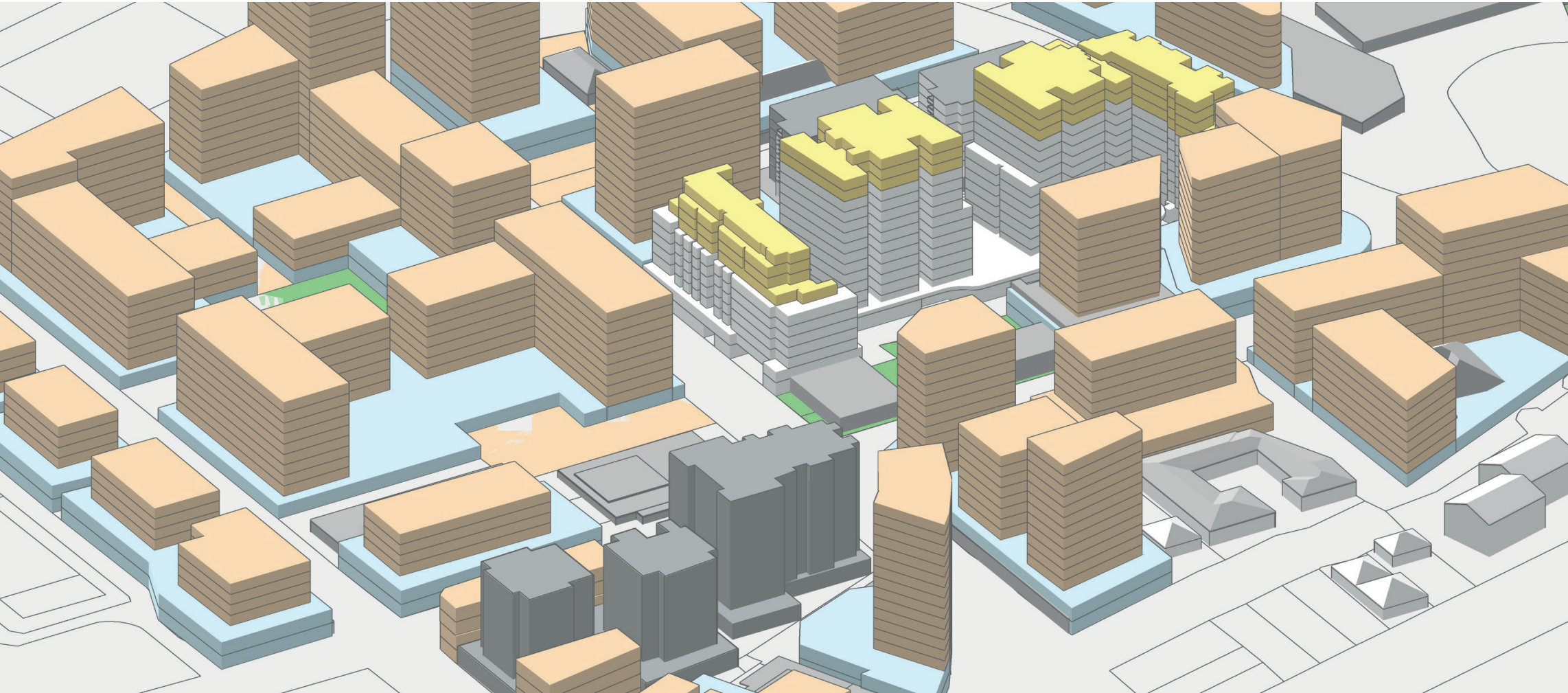
Looking south along Court Road from Neeta City

## KEY

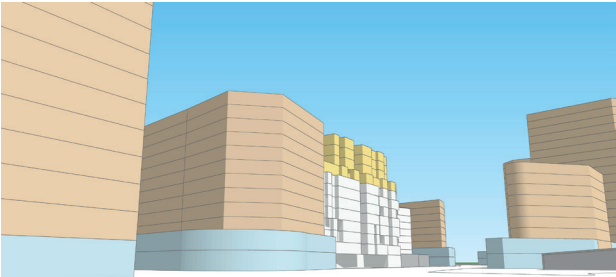
- Commercial
- Residential
- Approved DA



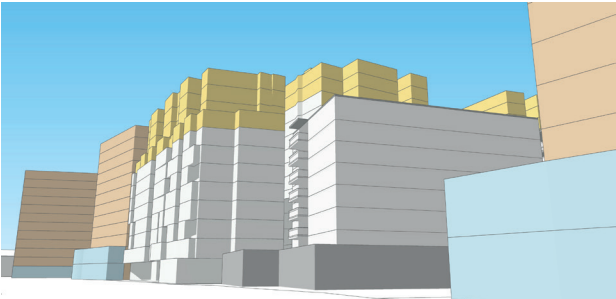
# URBAN DESIGN STUDY 2018 WITH APPROVED DA AND PROPOSAL



Looking north at the corner of Alan Street and Court Road



Looking north at the corner of Alan Street and Horsley Drive



Looking south at the corner of Horsley Drive



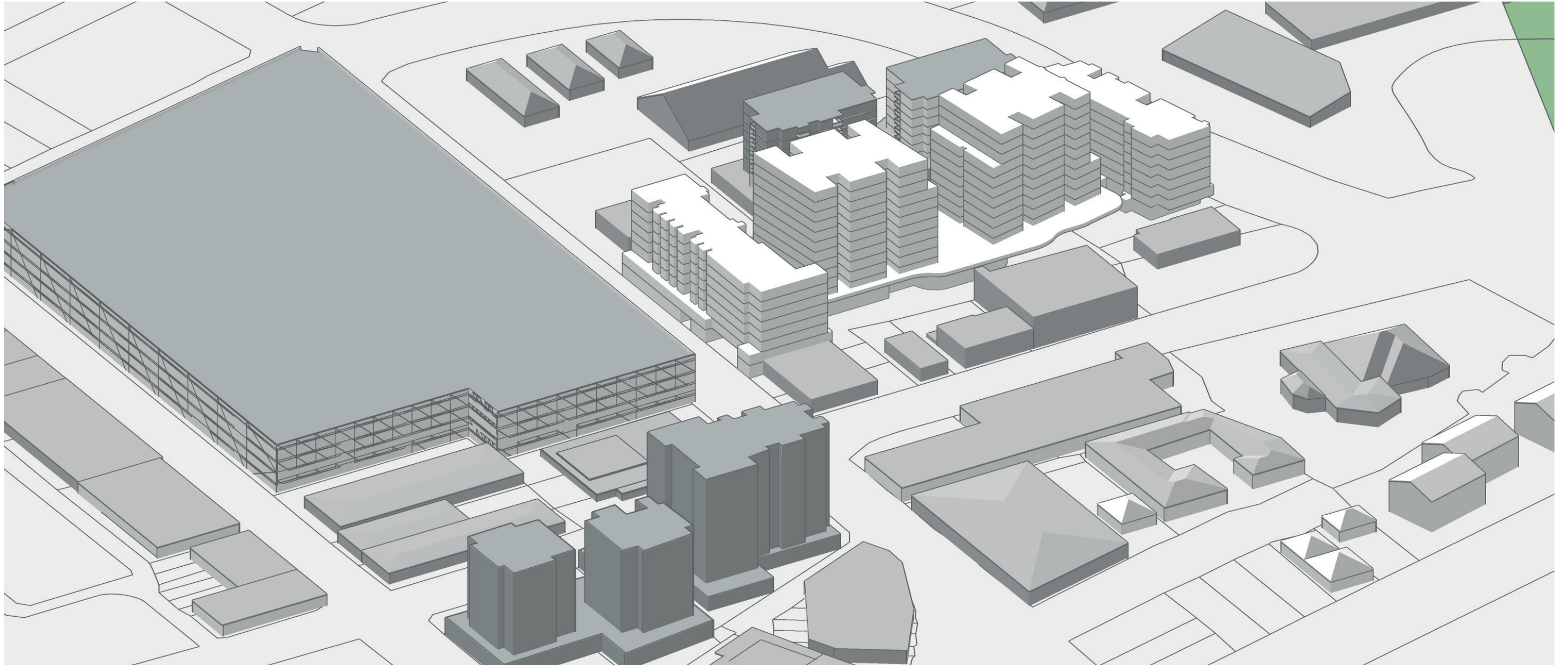
Looking south along Court Road from Neeta City

## KEY

- Commercial
- Residential
- Approved DA
- Proposal

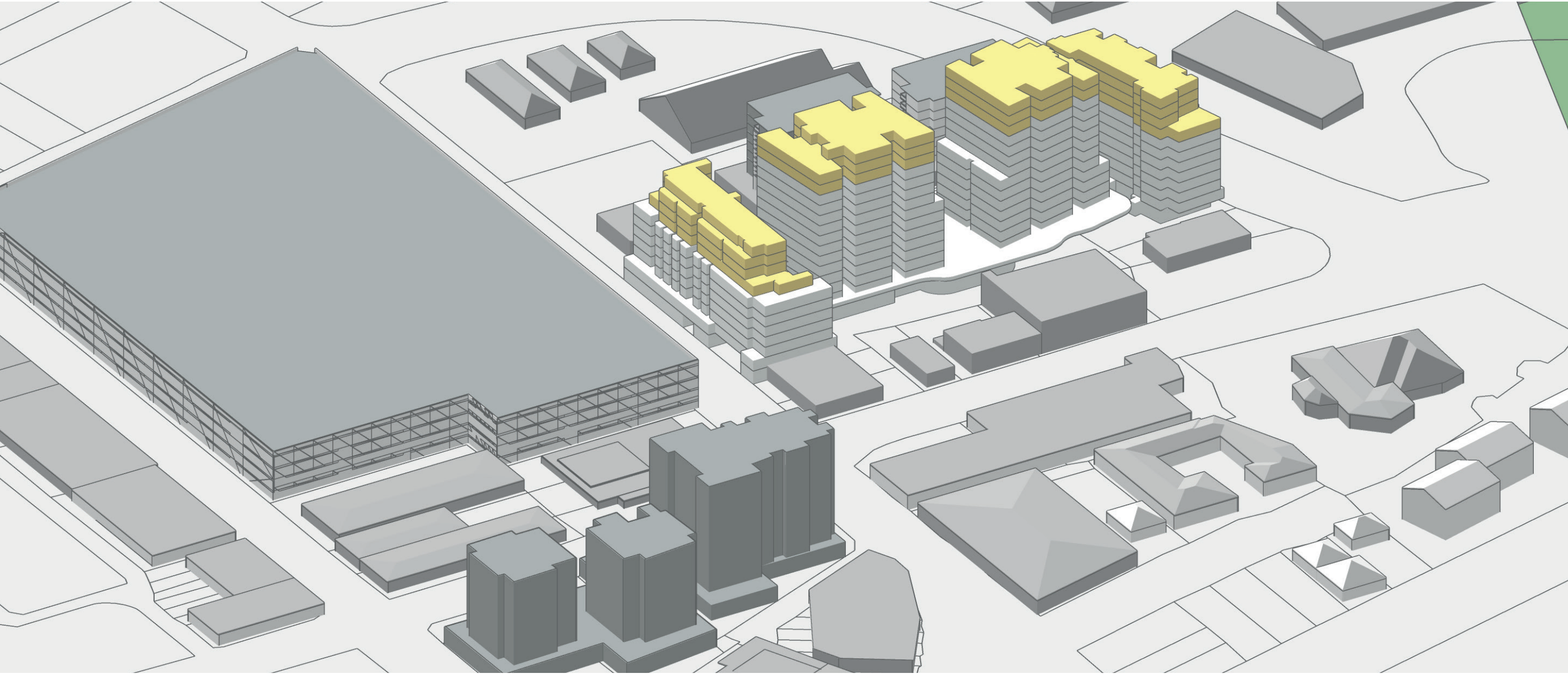


## EXISTING CONDITIONS AND APPROVED DA UNDER CONSTRUCTION





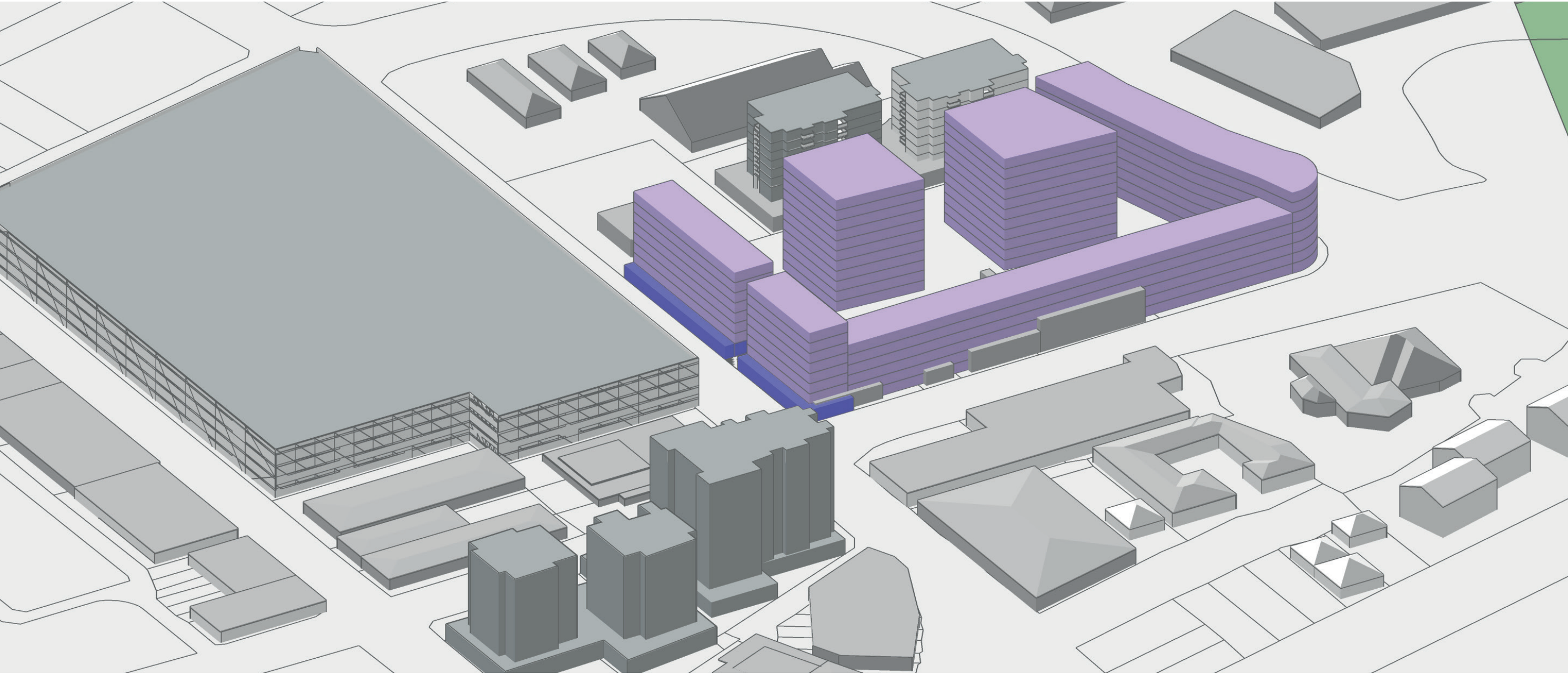
# EXISTING CONDITIONS WITH PROPOSAL



**KEY**  
 Proposal



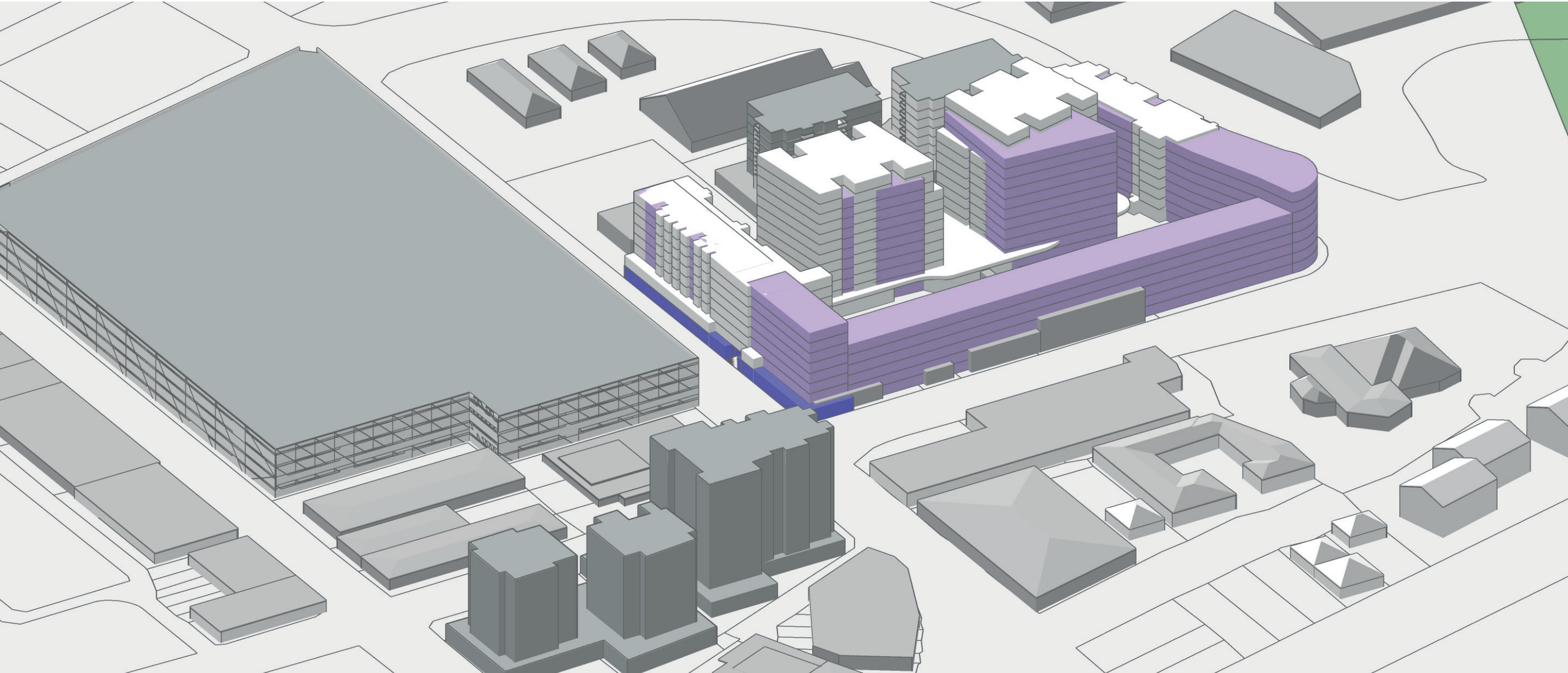
# DCP MASSING



**KEY**  
DCP



# DCP MASSING WITH EXISTING CONDITIONS AND APPROVED DAS



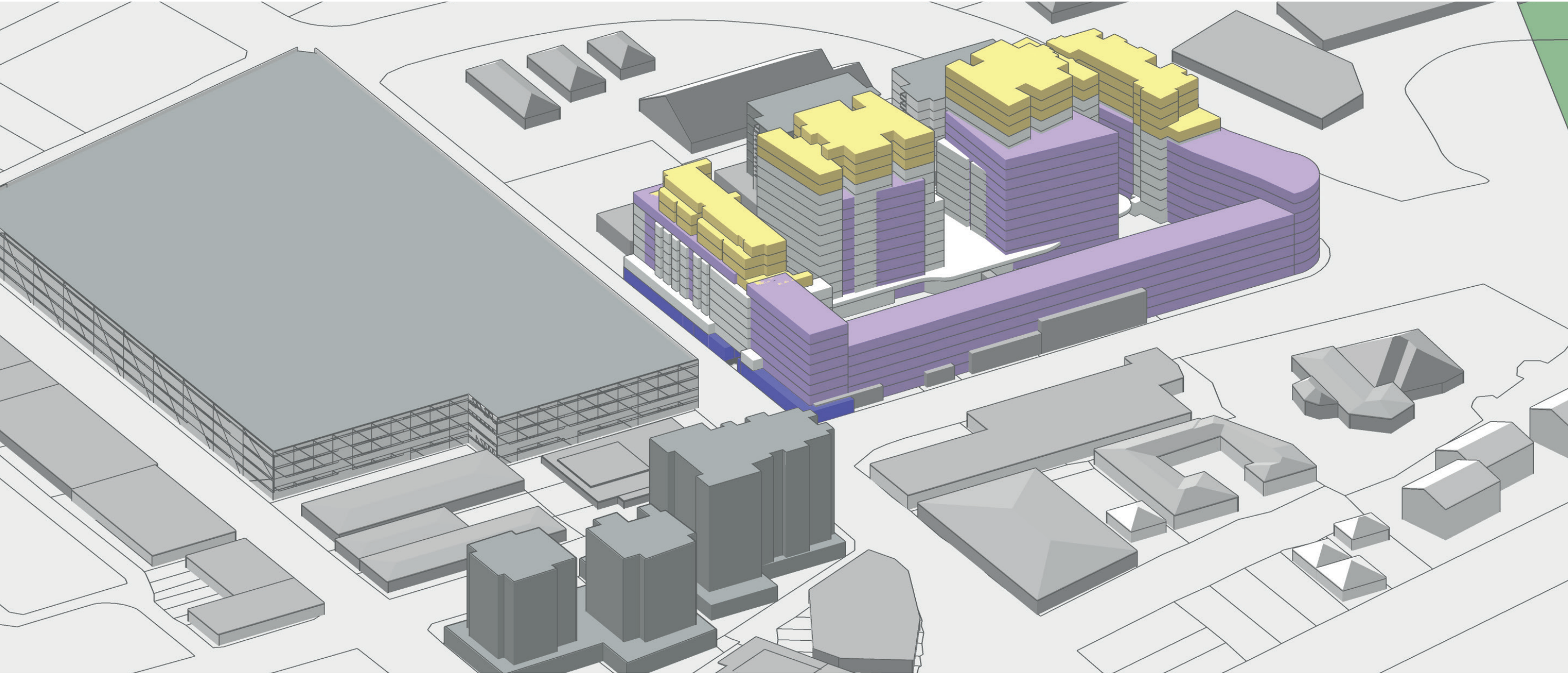
**KEY**

DCP

Approved DA



# DCP MASSING WITH APPROVED DA AND PROPOSAL

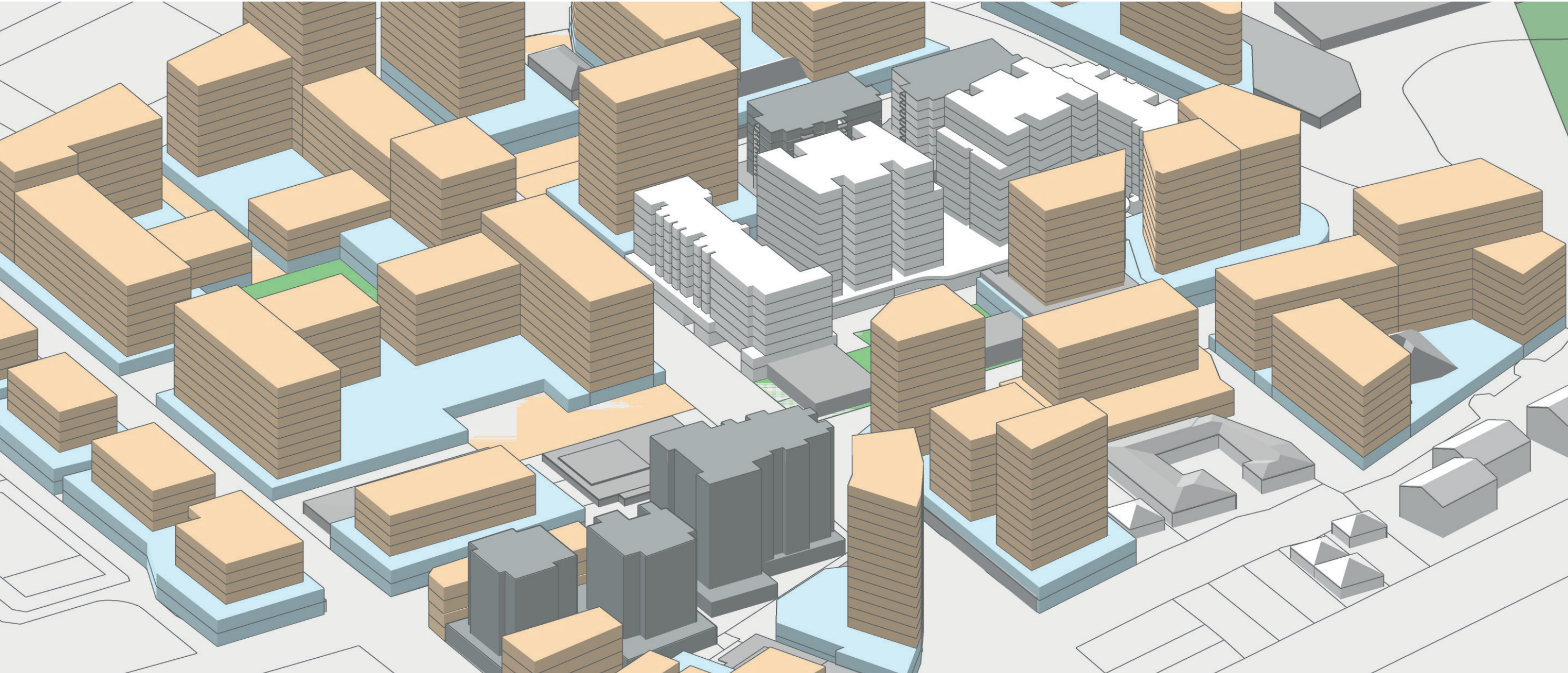


**KEY**

- DCP
- Approved DA
- Proposal



# URBAN DESIGN STUDY 2018 WITH APPROVED DA

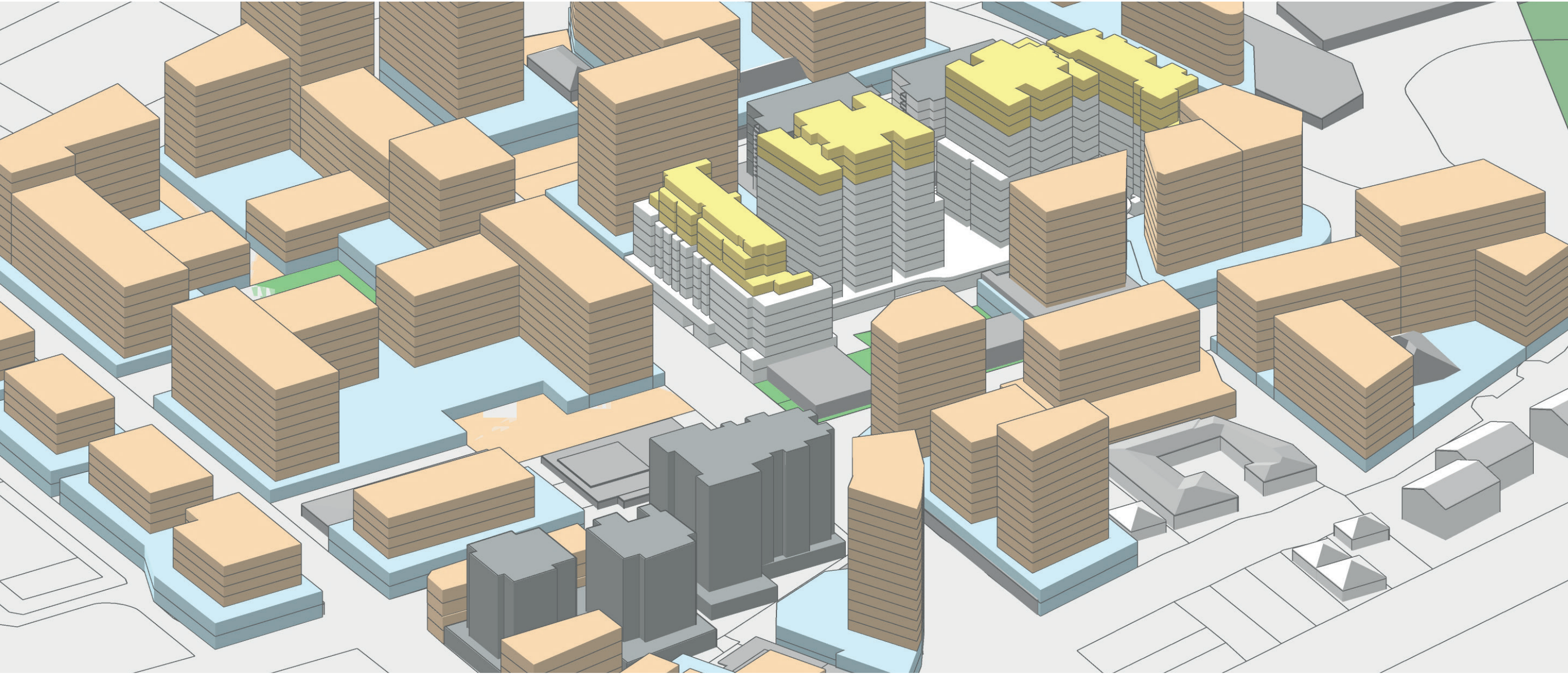


**KEY**

- Commercial
- Residential
- Approved DA



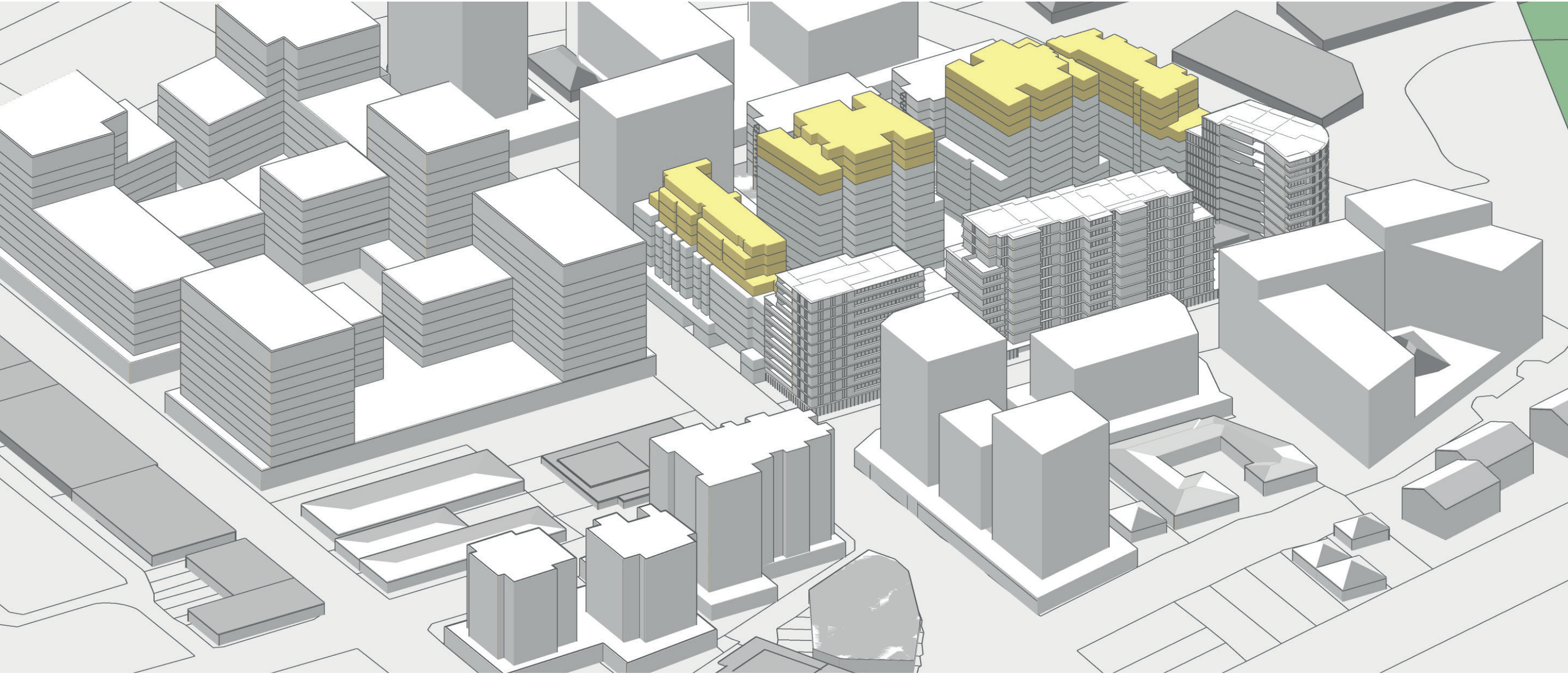
# URBAN DESIGN STUDY 2018 WITH APPROVED DA AND PROPOSAL



- KEY**
- Commercial
  - Residential
  - Approved DA
  - Proposal



# SCENARIO 1: CURRENT CONTROLS WITH AMALGAMATION OF NEIGHBOURING LOTS



**NEETA CITY SITE:**

- The model based on current LEP and DCP controls
- The Applicant should show the development potential of the site based on current LEP and DCP controls, which include the permissible forms of development in Zone E2 (not residential), maximum FSR of 4:1 and maximum height of 42m.

**SOUTHERN NEIGHBOURS:**

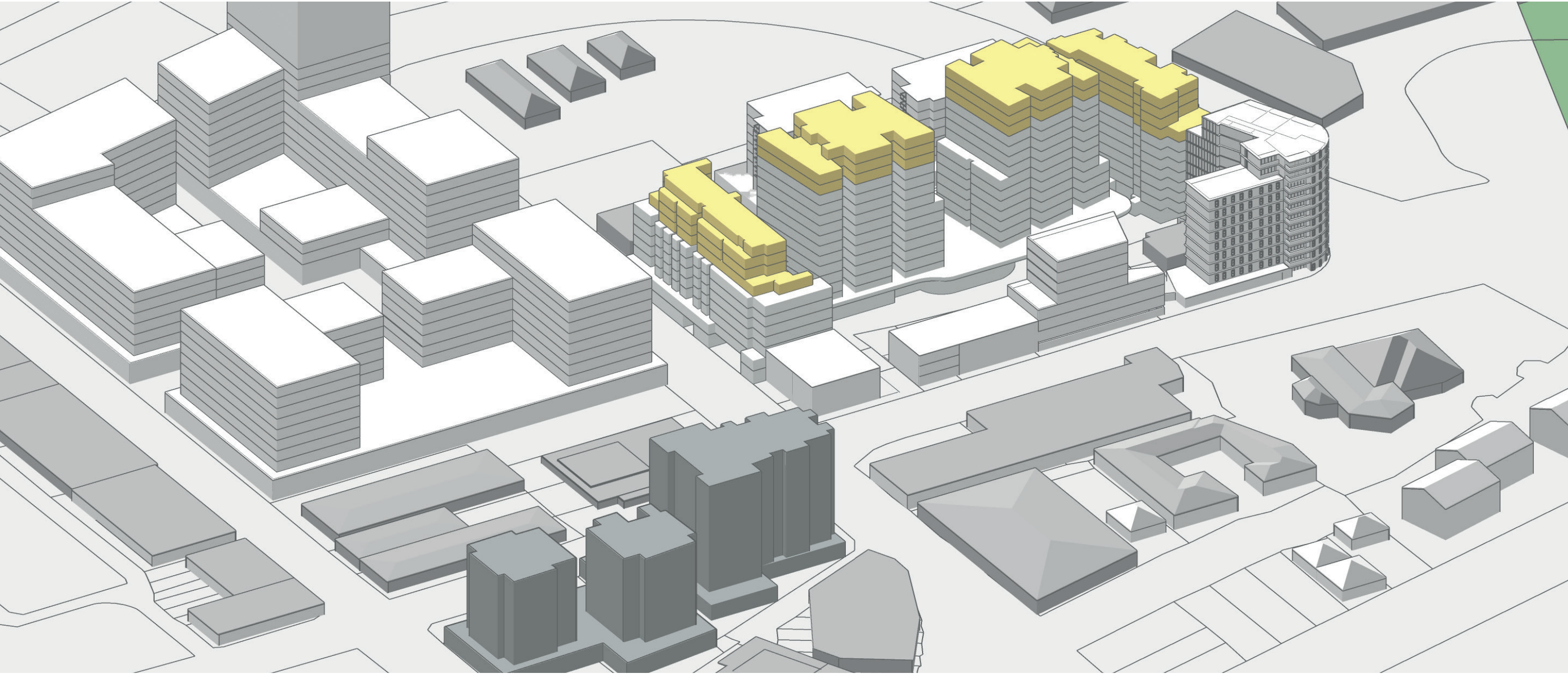
- The model based on Current LEP/DCP/ADG controls WITH amalgamation of neighbouring lots
- The Applicant should show how all the southern lots can be amalgamated to meet the site area requirements of clauses 7.6 and 7.7 of the LEP so that sites can be developed to their full potential of FSR 3.5:1 and 38m height.

**KEY**

Proposal



# SCENARIO 2 – MODEL BASED ON URBAN DESIGN STUDY 2018



**NEETA CITY SITE:**

- The UDS 2018 envisaged possible development of this site of between 4-18 storeys for the purposes of residential accommodation.

**SOUTHERN NEIGHBOURS:**

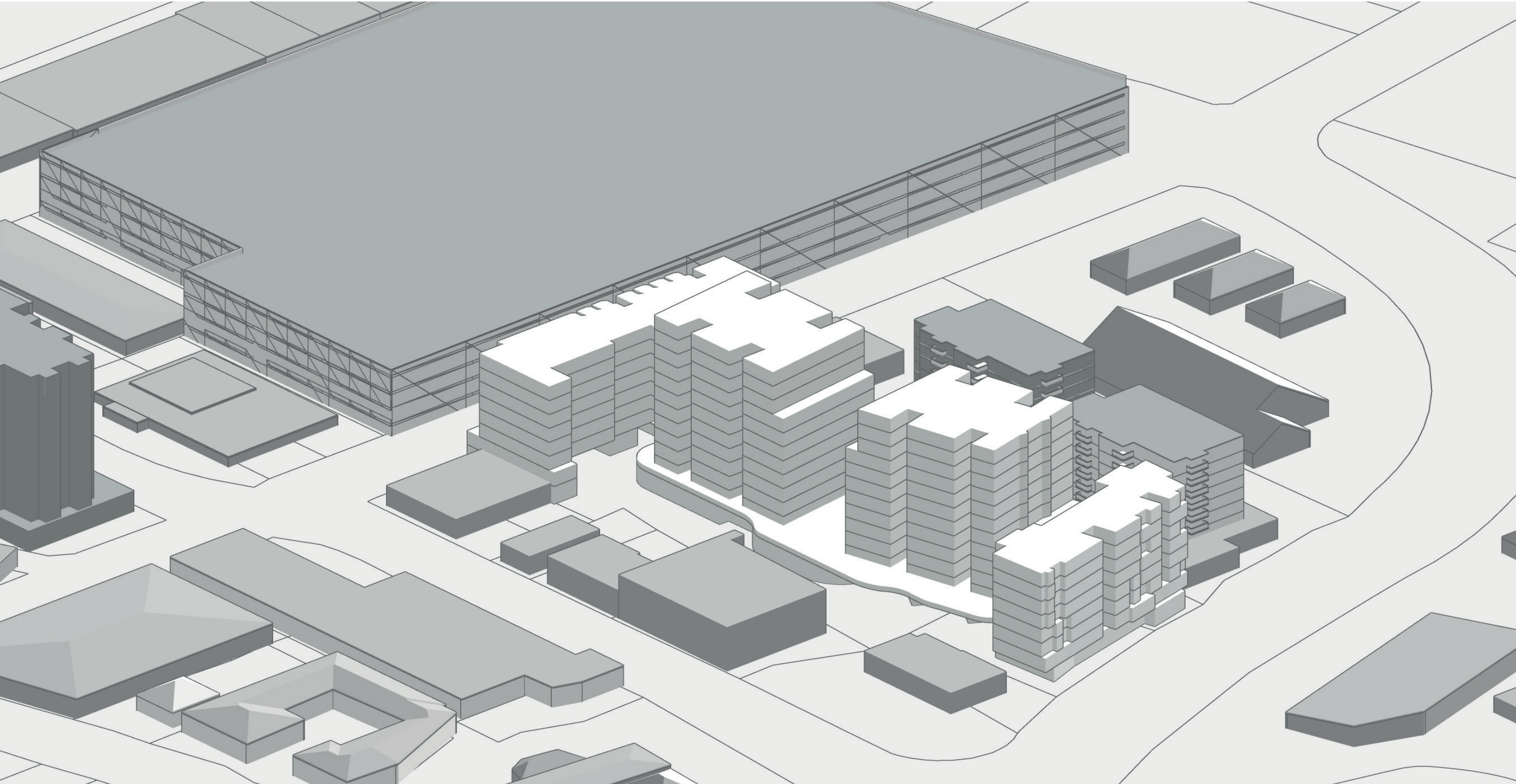
- The model based on Current LEP/DCP/ADG controls WITH amalgamation of neighbouring lots
- Without amalgamation, only the two lots comprising the KFC site are likely to be able to achieve the maximum FSR of 3.5:1 and 38m in height under the LEP. The other five remaining lots will only be able to achieve the lesser maximum of 2.5:1 FSR and 26m height as they will not meet the site area requirements, and their separate ownership makes amalgamation unlikely.

**KEY**

Proposal



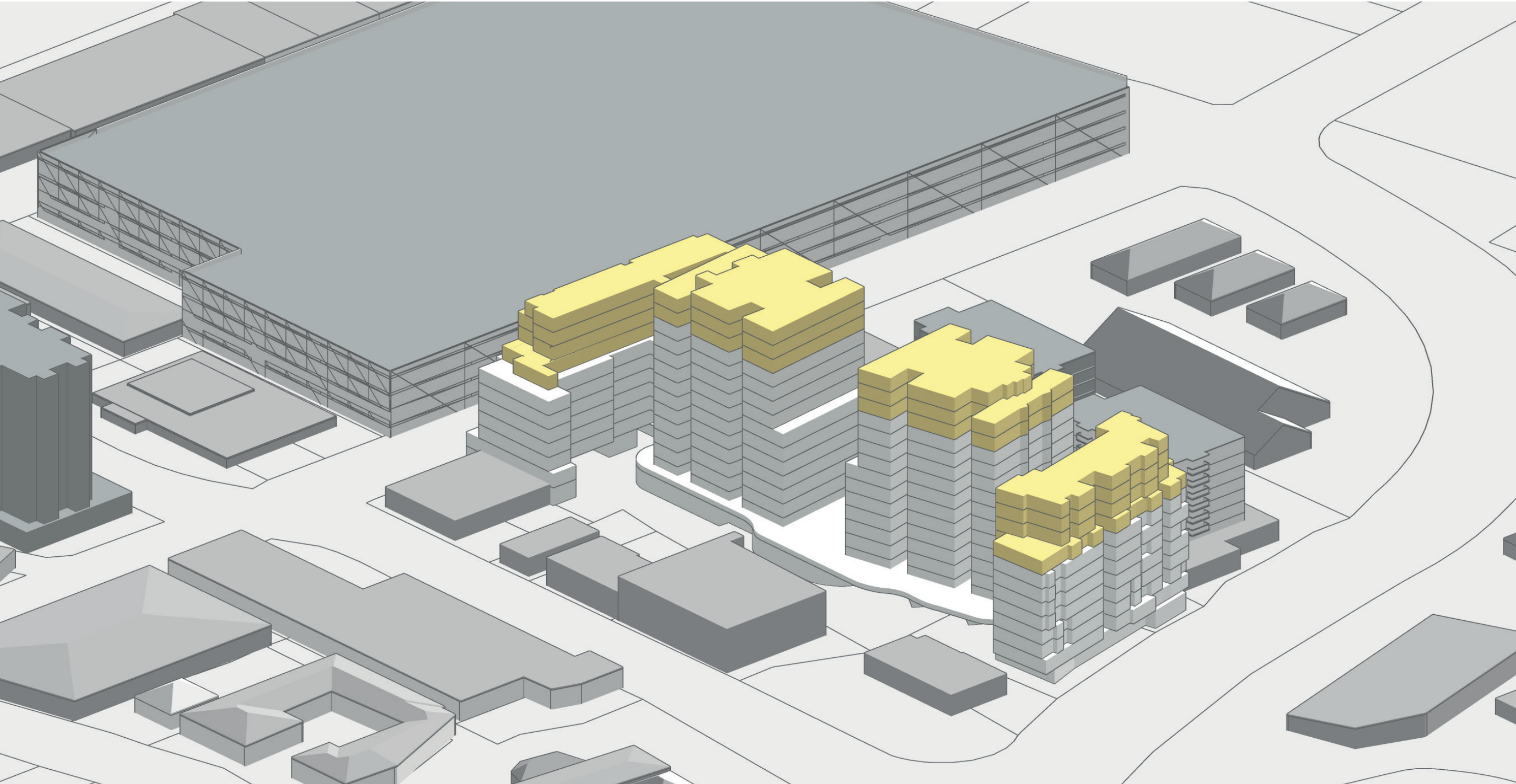
# EXISTING CONDITIONS AND APPROVED DA UNDER CONSTRUCTION



**KEY**  
Approved DA



# EXISTING CONDITIONS WITH AFFORDABLE HOUSING

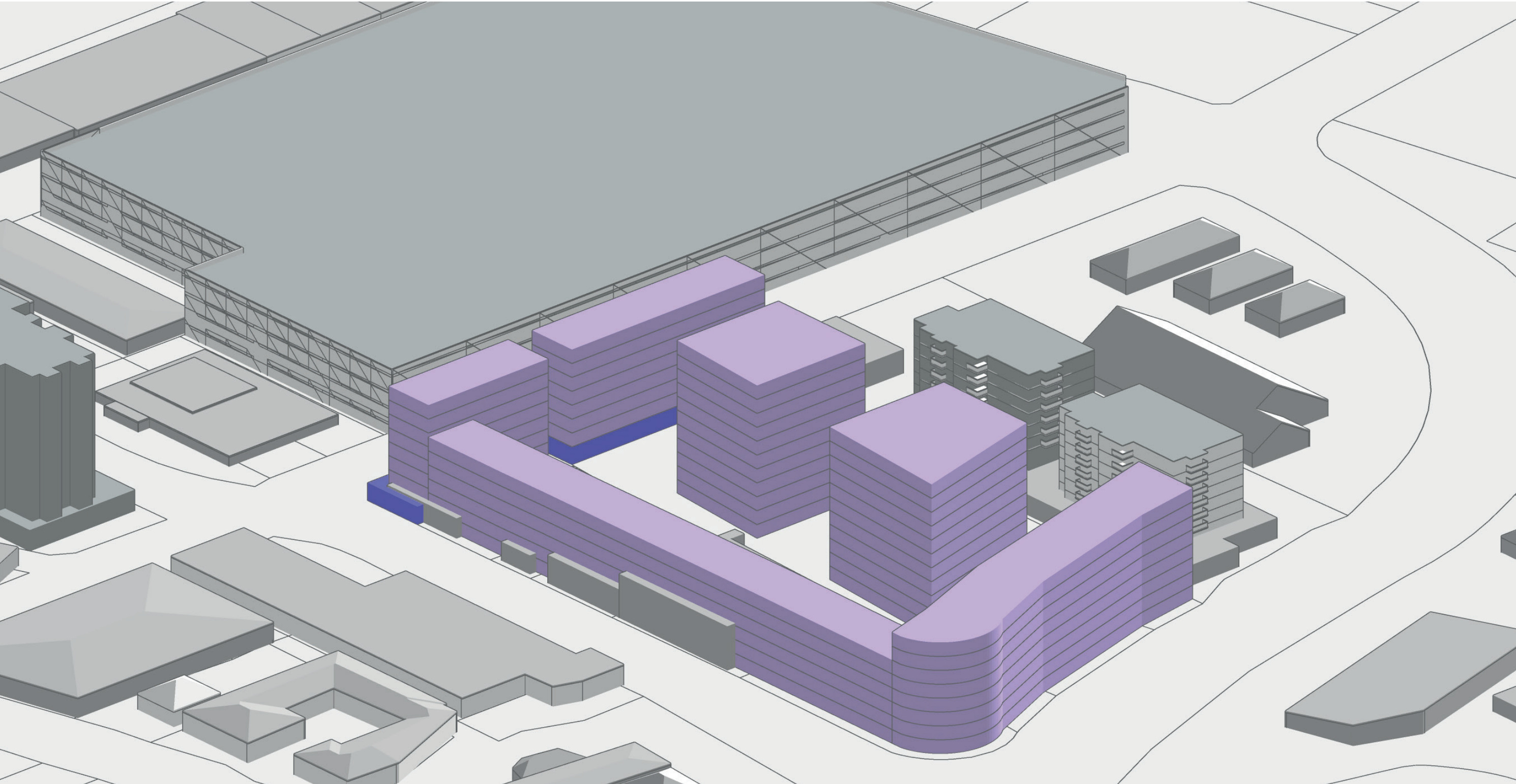


**KEY**

- Approved DA
- Proposal



# DCP MASSING

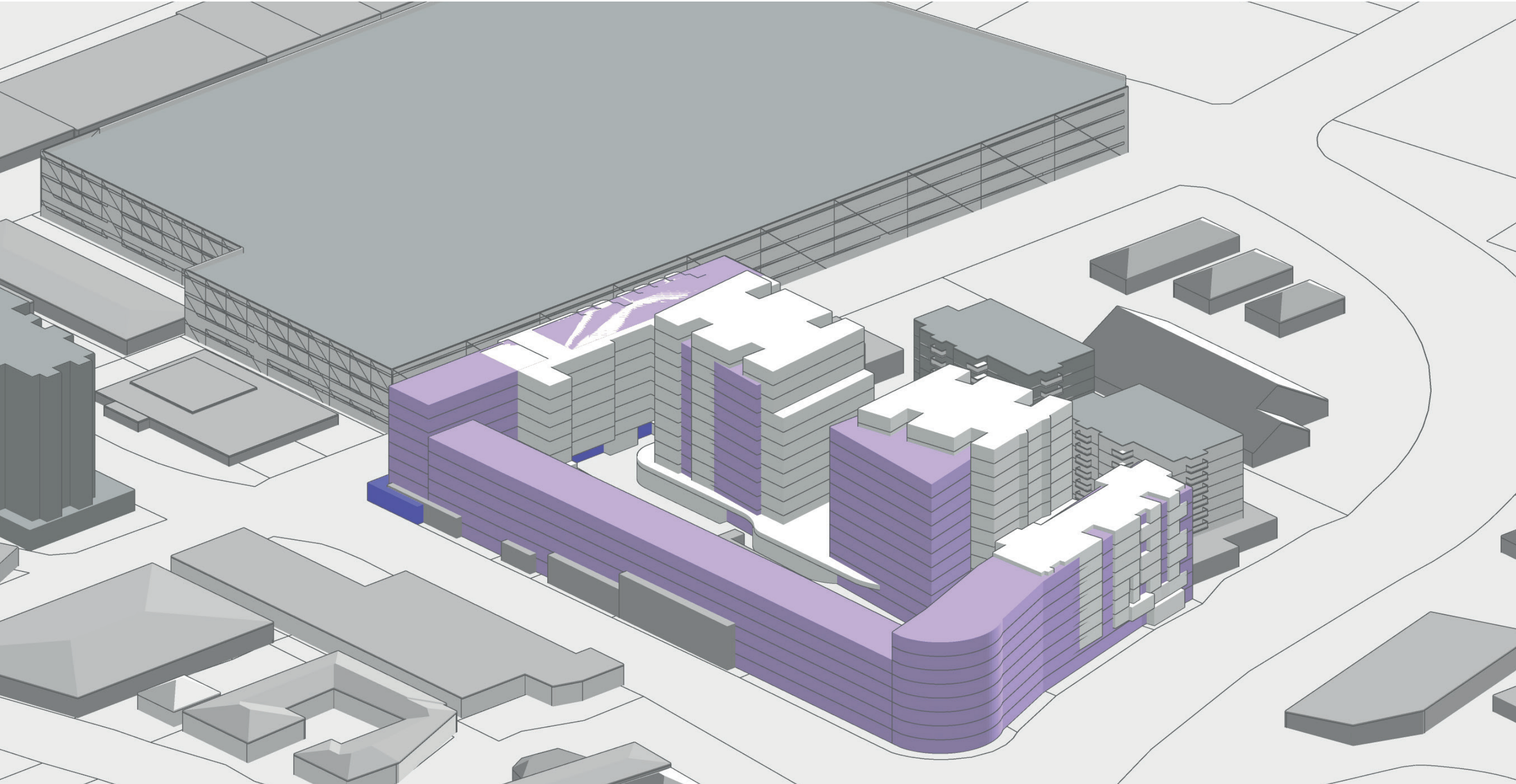


**KEY**

DCP



# DCP MASSING WITH EXISTING CONDITIONS AND APPROVED DAS



**KEY**

- Approved DA
- DCP



# DCP MASSING WITH APPROVED DA AND AFFORDABLE HOUSING

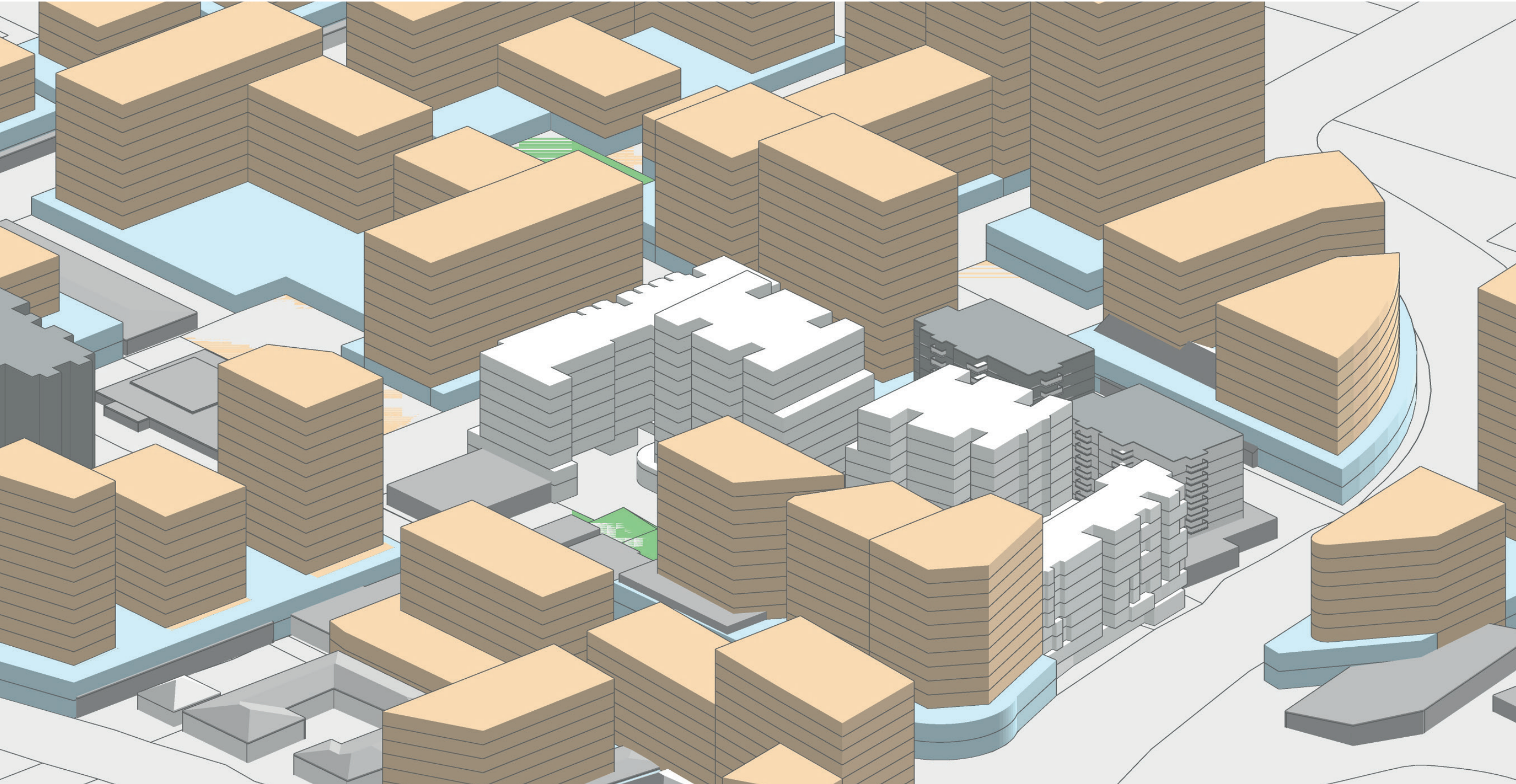


**KEY**

- Proposal
- DCP



# URBAN DESIGN STUDY 2018 WITH APPROVED DA



KEY

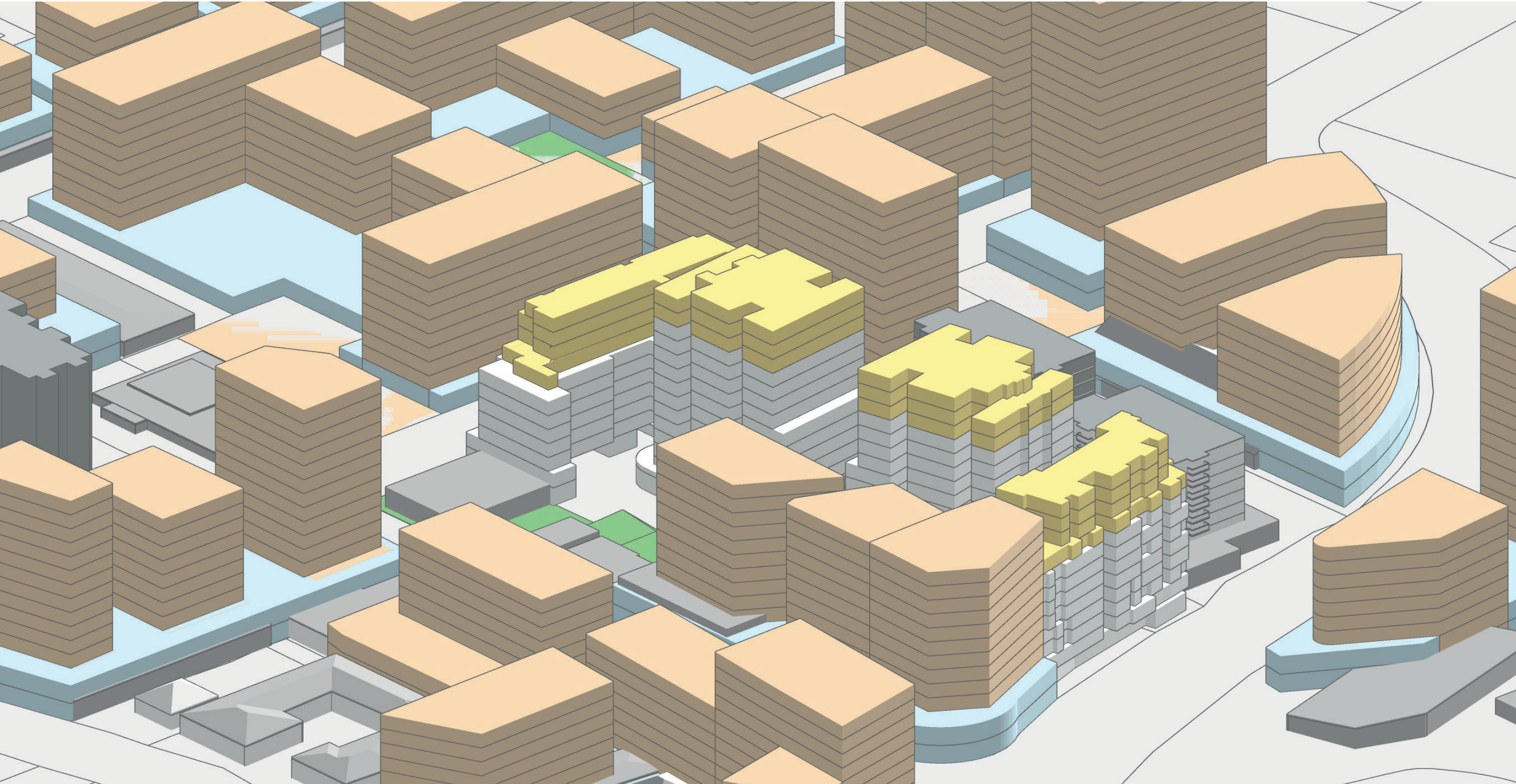
Commercial

Residential

Approved DA



# URBAN DESIGN STUDY 2018 WITH APPROVED DA AND AFFORDABLE HOUSING

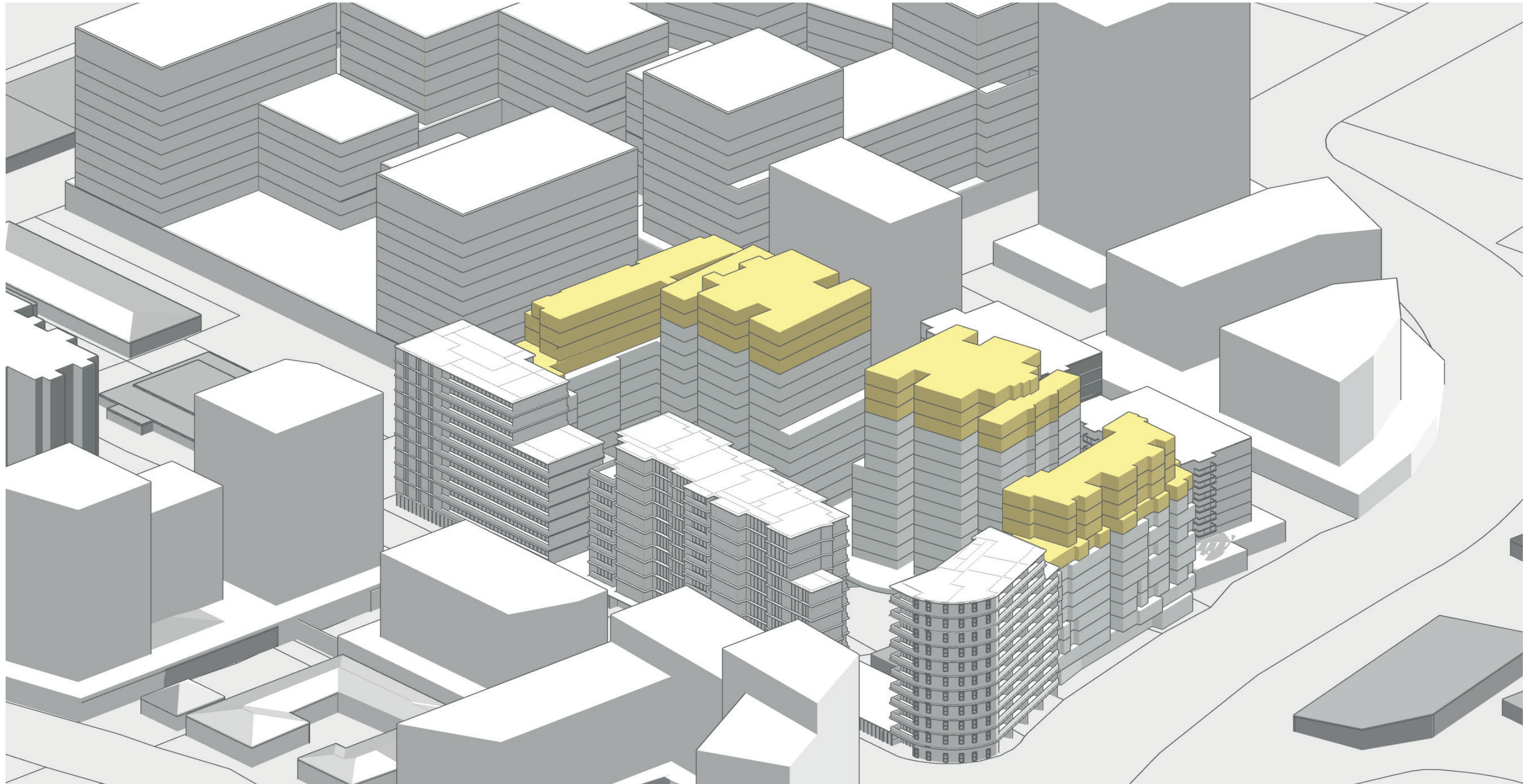


**KEY**

- Commercial
- Residential
- Approved DA
- Proposal



## SCENARIO 1: CURRENT CONTROLS WITH AMALGAMATION OF NEIGHBOURING LOTS

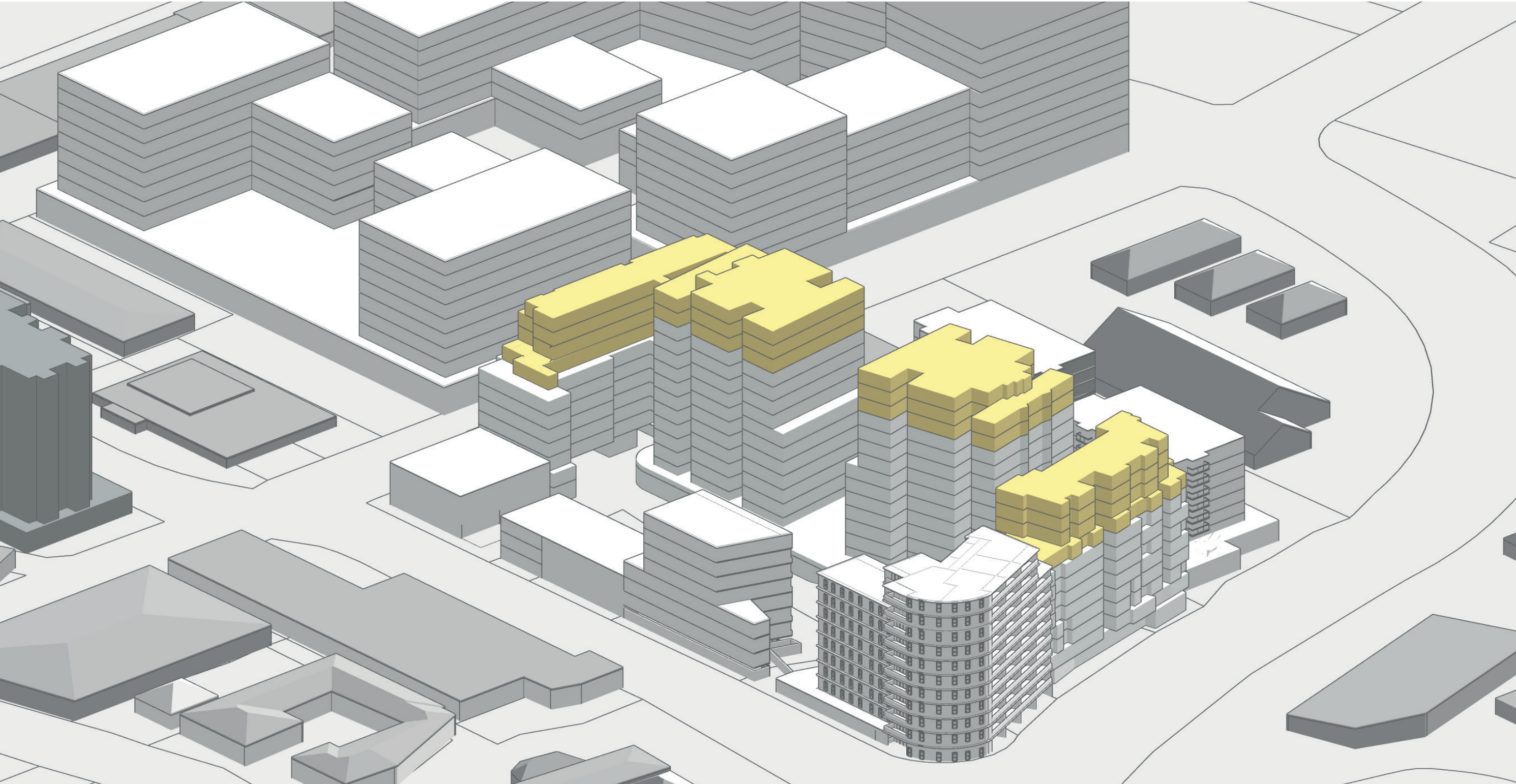


### KEY

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SCENARIO 2 – MODEL BASED ON URBAN DESIGN STUDY 2018



**KEY**  
 Proposal



# SCENARIO 1 STREET ELEVATION

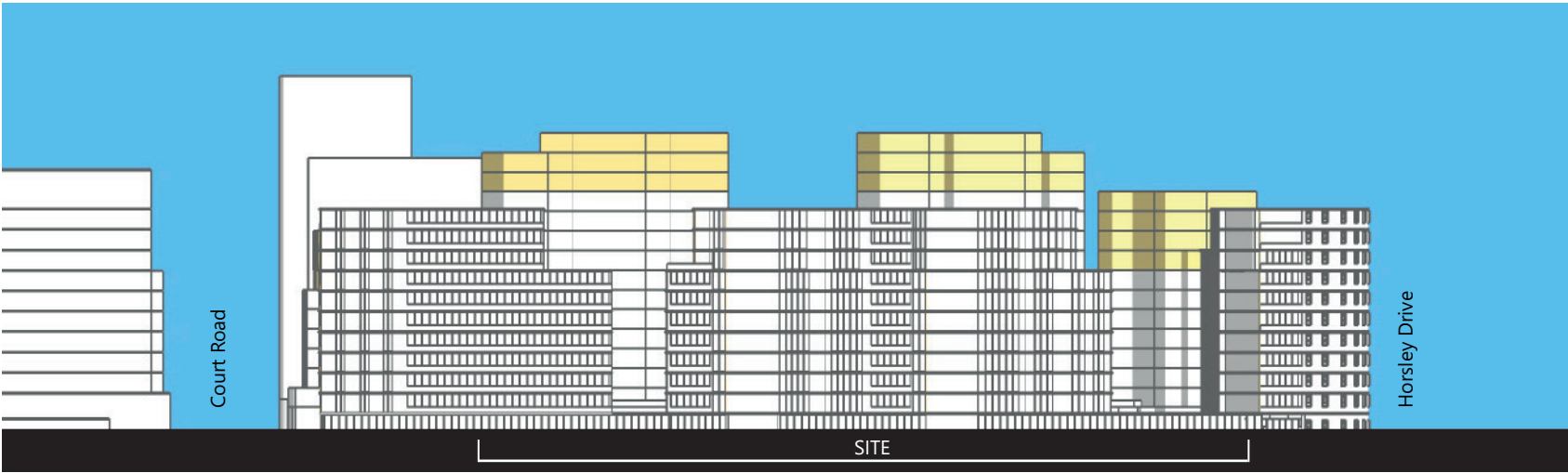
**Scenario 1: Current controls WITH amalgamation of neighbouring lots**

**NEETA CITY SITE:**

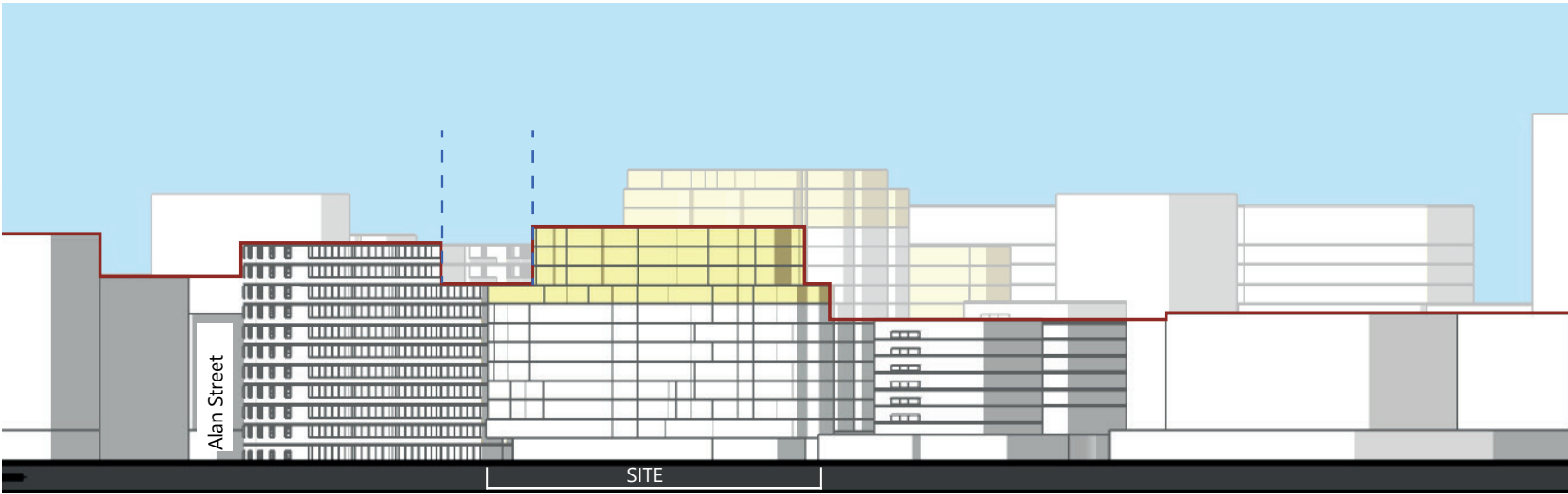
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- The Applicant should show the development potential of the site based on current LEP and DCP controls, which include the permissible forms of development in Zone E2 (not residential), maximum FSR of 4:1 and maximum height of 42m.

**SOUTHERN NEIGHBOURS:**

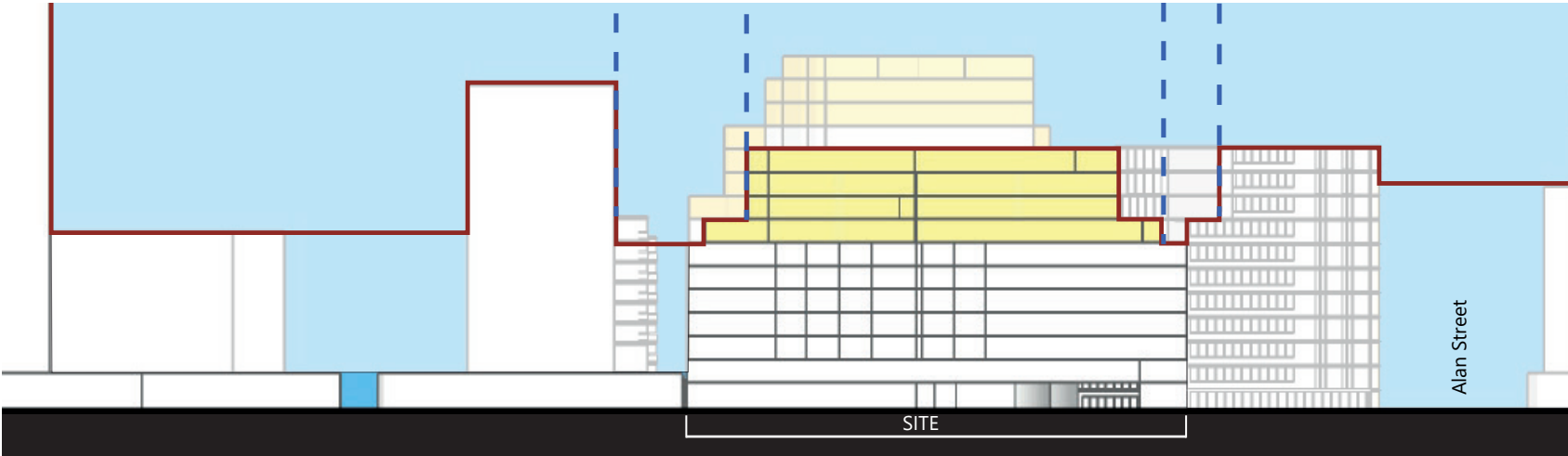
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- The Applicant should show how all the southern lots can be amalgamated to meet the site area requirements of clauses 7.6 and 7.7 of the LEP so that sites can be developed to their full potential of FSR 3.5:1 and 38m height.



Alan Street Elevation



Horsley Drive Elevation



Court Road Elevation